

# PROJECT DESCRIPTION

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APR 12 2023

CITY OF PLACERVILLE  
DEVELOPMENT SERVICES DEPT.

**ZONING:** COMMERCIAL  
**BUILDING TYPE** EXISTING TYPE V-B NON-SPRINKLERED  
**BUILDING AREAS** AREA OF ADDITION  
2,172 S.F.  
**OCCUPANCY TYPE** M - merchant

**PARKING** 37 STALLS

**CODES** ALL WORK DONE ON THIS PROJECT SHALL COMPLY WITH THE  
2022 CBC,CMC,CPC,CEC AND TITLE 24 ENERGY REQUIREMENTS.  
(ALSO ALL LOCAL ORDINANCES AND FIRE DISTRICT REQUIREMENTS)

## BUILDING AREA/ TYPE/ OCCUPANCY DETAIL

EXISTING BUILDING 10,700 S.F.  
TYPE OF BLDG TYPE V (B)  
OCCUPANCY TYPE 'B' BUSINESS  
OCCUPANTS 10,700/150 - 72 OCC.

PROPOSED ADDITION 2172 S.F.  
TYPE OF BLDG TYPE V (B)  
OCCUPANCY TYPE 'M' MERCHANT  
OCCUPANTS (SEE FLOOR PLAN) 24 TOTAL

TOTAL AREA (NEW AND EXISTING)  
12,873 S.F.

## MAX. AREA ALLOWED

TOTAL AREA ALLOWED CBC CHAPTER 5  
9,000 S.F. + 9,000 (YARDS) = 18,000 S.F.

## PARKING

TOTAL STALLS 37 EXISTING AND PROPOSED

NOTE: RETAIL AREA IS TO SERVE OCCUPANTS  
ALREADY AT BUILDING / USING RANGE  
NO ADDITIONAL PARKING ANTICIPATED FOR ADDITION

## CONSTRUCTION SCHEDULE / DURATION

WOULD LIKE TO PULL PERMIT AS SOON AS PROJECT IS APPROVED AND REVIEWED  
TYPICAL SITE AND BUILDING WOULD BE 1 YEAR

HANGTOWN RANGE ADDITION

1540 BROADWAY PLACERVILLE

COST OF IMPROVEMENTS ESTIMATE

THE ESTIMATE TO BUILD AND COMPLETE THE PROPOSED ADDITION TO THE EXISTING SITE IS

\$480,000.00 (FOUR HUNDRED EIGHTY THOUSAND) DOLLARS.

THANK YOU

RICHARD ROOD

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DEVELOPMENT SERVICES DEPT.

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CITY OF PLACERVILLE  
DEVELOPMENT SERVICES DEPT.  
**PLANNING APPLICATION**

Date: 04/12/2023  
Zoning: LWC GP: LWC  
File No: SPR17-03-R  
Filing Fee (PZ) \$3380.00  
Filing Fee (EN) \_\_\_\_\_  
Receipt No: \_\_\_\_\_

**REQUEST FOR:**

- Annexation
- Boundary Line Adjustment
- Certificate of Compliance
- Conditional Use Permit
- Environmental Assessment
- Environmental Impact Report
- Final Subdivision Map
- General Plan Amendment
- General Plan Consistency
- Historic District Review
- Landscape Plan Review
- Map Amendment
- Merger
- Minor Deviation
- Planned Development
- Preliminary Plan Review
- Sign Package Review / Amendment
- Site Plan Review
- Temporary Commercial Coach
- Temporary Use Permit
- Tentative Parcel Map
- Tentative Subdivision Map
- Variance
- Zone Change

**DESCRIPTION:**

[Empty box for description]

ITEMS ABOVE THIS LINE FOR OFFICE USE ONLY

\*\*\*\*\*  
City Ordinance #1577 established a Fee & Service Charge System. In some cases project review will require the services of specialists under contract to do work that City staff cannot perform. In these cases, the applicant shall pay the direct cost of these services plus fifteen percent (15%) for City Administration.

**PROJECT APPLICANT**

NAME RICHARD ROOD  
MAILING ADDRESS 2211 SWANSBORO RD.  
PLACERVILLE CA 95667  
PHONE 530-621-1173  
EMAIL DRROOD@Hughes.NET

**APPLICANT'S REPRESENTATIVE (if different)**

NAME \_\_\_\_\_  
MAILING ADDRESS \_\_\_\_\_  
PHONE \_\_\_\_\_  
EMAIL \_\_\_\_\_

**PROPERTY OWNER(S)**

NAME RICHARD + DARLENE ROOD PHONE 530-621-1173  
MAILING ADDRESS 2211 SWANSBORO RD PLACERVILLE CA 95667  
EMAIL ADDRESS DRROOD@Hughes.NET

**SURVEYOR, ENGINEER, ARCHITECT, OR OWNER'S REPRESENTATIVE (If applicable)**

NAME \_\_\_\_\_ PHONE \_\_\_\_\_  
MAILING ADDRESS \_\_\_\_\_  
EMAIL ADDRESS \_\_\_\_\_

I have notified the mortgage holder, which is: \_\_\_\_\_

**DESCRIPTION OF PROPERTY (Attach legal deed description)**

See ATTACHED  
STREET ADDRESS 1570 BROADWAY PLACERVILLE  
ASSESSOR'S PARCEL NO.(S) 004-201-024-000  
Above described property was acquired by owner on July 22 2016  
Month Day Year

CITY OF PLACERVILLE  
DEVELOPMENT SERVICES DEPARTMENT—PLANNING DIVISION  
3101 CENTER STREET, PLACERVILLE, CA 95667, (530) 642-5252

List or attach any Covenants, Conditions or Restrictions, concerning use of property, of improvements contemplated; as well as yard setback and area or height requirements that were placed on the property by subdivision tract developers. Give date said restrictions expire.

NA

I hereby certify that the statements and information contained in this application, including the attached drawings and the required findings of fact, are in all respects true and correct. I understand that all property lines must be shown on the drawings and be visible upon site inspection. In the event that the lines and monuments are not shown or their location found to be incorrect, the owner assumes full responsibility.

I further understand that if this request is subsequently contested, the burden will be on me to establish: that I produced sufficient factual evidence at the hearing to support this request; that the evidence adequately justifies the granting of the request; that the findings of fact furnished by me are adequate, and further that all structures or improvements are properly located on the ground. Failure in this regard may result in the request being set aside, and structures being built in reliance thereon being required to be removed at my expense.

PROPERTY OWNER agrees to and shall hold the CITY, its officers, agents, employees and representatives harmless from liability for damage or claims for damage for personal injury, including death, and claims for property damage which may arise from the direct or indirect operations of the PROPERTY OWNER or those of his contractor, subcontractor, agent, employee or other person acting on his behalf which relate to this project. PROPERTY OWNER agrees to and shall defend the CITY and its officers, agents, employees and representatives from actions for damages caused or alleged to have been caused by reason of the PROPERTY OWNER'S activities in connection with the project. This hold harmless agreement applies to all damages and claims for damages suffered or alleged to have been suffered by reason of the operations referred to in this paragraph, regardless of whether or not the CITY prepared, supplies or approved plans or specifications or both for the project.

PROPERTY OWNER further agrees to indemnify, hold harmless, pay all costs and provide a defense for CITY in any action challenging the validity of PROPERTY OWNER'S project.

Richard Rood  
Applicant's Signature

RICHARD ROOD  
Printed Name of Applicant(s)

4-1-2023  
Date

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner.

Richard Rood  
Signature of Property Owner

RICHARD ROOD  
Printed Name of Property Owner

4-1-2023  
Date

Darlene Rood  
Signature of Property Owner

DARLENE ROOD  
Printed Name of Property Owner

4-1-2023  
Date

NOTICE: Section 10-3-9 of the Placerville Municipal Code prohibits the occupancy of a building or a release of utilities prior to the issuance of a Certificate of Occupancy by the Building Division AND the completion of all zoning requirements and conditions imposed by the Planning Commission or City Council UNLESS a satisfactory performance bond or other acceptable security has been posted to insure completion. VIOLATIONS may result in prosecution and/or disconnection of utilities.

\*\*\*\*\*

A Notice of Public Hearing and Staff Report will be prepared for applications requiring public hearing(s). Staff Report will be sent to the Applicant and Owner. Notices and Staff Reports will be sent via email if addresses have been provided; if not, the documents will be sent to the mailing addresses provided on this form. Please list below any alternate or additional recipients, along with their contact information, or any alternate instructions for sending these materials to the Applicant or Owner.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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DEVELOPMENT SERVICES DEPT.

**SITE PLAN REVIEW SUBMITTAL REQUIREMENTS**

The applicant shall provide the following information for Site Plan Review and fill out the checklist below by placing a check mark in the boxes listed under Column A (for Applicant) and signing below. Column S is for staff to verify that your submittal requirements have been met.

**1. GENERAL:**

All application submittals must contain the following:

A	S	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a) Signed, completed Planning Application Form
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b) Project Construction Valuation (used by staff to assess application fee)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c) 2 Copies of a preliminary title report (dated within 90 days)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d) Signed, completed Environmental Information Form
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e) 10 copies of plan sets submitted on 24" x 36" sheets or smaller, drawn to scale and of sufficient size to clearly show all details; one plan set at 8 1/2" x 11" reduction. Note: All plans MUST be folded to 8 1/2" x 11", No rolled drawings will be accepted (Check with staff before preparing plan sets).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	f) Electronic copy of plan set in PDF
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g) Project description: On a separate sheet(s) describe the project including but not limited to: site size, square footage/acreage, number of floors of construction, duration of construction, off-street parking provided, proposed scheduling (desired construction date), anticipated incremental development (project phasing). If residential, include the number of units, schedule of unit sizes, range of sale prices or rents and type of household size expected. If commercial or industrial, indicate the type and major function, estimated number of employees, employee shifts, and delivery loading facilities, number of traffic trips generated daily by employees, truck deliveries, and patrons, estimated occupancy, and community benefits to be derived from the project.

**2. SITE PLANS:**

All plans must be drawn to standard architect's or engineer's scale at not less than 1"=50', with each sheet folded to 8.5" x 11", and contain the following information:

Sheet #

A	S	
<input type="checkbox"/>	<input type="checkbox"/>	a) Sheet numbers, Project name, Architect/Engineer name, address, and phone number
<input type="checkbox"/>	<input type="checkbox"/>	b) Applicant/Representative and Owner name, address and phone number, if different from owner
<input type="checkbox"/>	<input type="checkbox"/>	c) North arrow and scale of illustration; date of preparation and/or revisions
<input type="checkbox"/>	<input type="checkbox"/>	d) Vicinity map, General Plan Designation, Zoning District, Assessor's Parcel Number
<input type="checkbox"/>	<input type="checkbox"/>	e) Land use and Zoning
<input type="checkbox"/>	<input type="checkbox"/>	f) The total area (acreage or square feet) of the project site
<input type="checkbox"/>	<input type="checkbox"/>	g) The total number of proposed and existing structures
<input type="checkbox"/>	<input type="checkbox"/>	h) The area of the site to be covered by buildings and by paved surfaces (%)
<input type="checkbox"/>	<input type="checkbox"/>	i) Dimensioned property lines and all building setbacks
<input type="checkbox"/>	<input type="checkbox"/>	j) Location, name and width of adjacent streets
<input type="checkbox"/>	<input type="checkbox"/>	k) Street dedications and improvements
<input type="checkbox"/>	<input type="checkbox"/>	l) Location and dimensions (width) of drainage swales, watercourses, ponds, lakes, marshes, or wetlands
<input type="checkbox"/>	<input type="checkbox"/>	m) Existing and proposed public and private easements
<input type="checkbox"/>	<input type="checkbox"/>	n) Dimensioned existing and proposed on and offsite improvements
<input type="checkbox"/>	<input type="checkbox"/>	o) Dimensioned existing and proposed buildings and square footage
<input type="checkbox"/>	<input type="checkbox"/>	p) Total number of parking spaces required and provided
<input type="checkbox"/>	<input type="checkbox"/>	q) Dimensioned parking spaces and aisles, traffic flow with directional arrows
<input type="checkbox"/>	<input type="checkbox"/>	r) Location and dimensions of proposed walls, fences, trash enclosures and exterior lights.
<input type="checkbox"/>	<input type="checkbox"/>	s) Location, dimensions color and lettering of all existing and proposed signs
<input type="checkbox"/>	<input type="checkbox"/>	t) Drainage system (for parking lot, roof, etc.)

C3  
C4  
N/A  
C4

<input type="checkbox"/>	<input type="checkbox"/>	u) Sewer and water lines (existing and proposed) including easements, including locations of all existing and proposed fire hydrants, backflow preventers, pressure relief valves, etc.
<input type="checkbox"/>	<input type="checkbox"/>	v) Existing and proposed contours
<input type="checkbox"/>	<input type="checkbox"/>	w) Location, type, and height of any existing and proposed exterior lighting, complete with photometric analysis prepared by a lighting professional <i>Existing @ building</i>
<input type="checkbox"/>	<input type="checkbox"/>	x) Exterior pedestrian circulation pattern, including handicapped-accessible path of travel

3. **LANDSCAPE PLANS:** Please consult the City's *Water Efficient Landscape Regulations (Zoning Ordinance Section 10-6-1 to 10-6-17)* and *The City of Placerville Development Guide* for landscape, irrigation and grading design plan requirements and regulations.

C4  
N/A  
C4

A	S	
<input type="checkbox"/>	<input type="checkbox"/>	v) Existing and proposed contours
<input type="checkbox"/>	<input type="checkbox"/>	w) Location, type, and height of any existing and proposed exterior lighting, complete with photometric analysis prepared by a lighting professional
<input type="checkbox"/>	<input type="checkbox"/>	x) Exterior pedestrian circulation pattern, including handicapped-accessible path of travel

4. **ELEVATION PLANS:**

A4  
A4  
A5  
A4  
A5  
N/A  
A3, A5

A	S	
<input type="checkbox"/>	<input type="checkbox"/>	a) Exterior elevations of all sides of proposed new buildings and additions to existing buildings
<input type="checkbox"/>	<input type="checkbox"/>	b) Exterior treatment and color scheme
<input type="checkbox"/>	<input type="checkbox"/>	c) Elevations of trash enclosures, including materials used, colors and finishes
<input type="checkbox"/>	<input type="checkbox"/>	d) Size, color and lettering of all proposed signs
<input type="checkbox"/>	<input type="checkbox"/>	e) Where existing slopes are greater than 10% show typical building sections through the critical slopes
<input type="checkbox"/>	<input type="checkbox"/>	f) Photographs of existing buildings and buildings on adjacent properties, if any.
<input type="checkbox"/>	<input type="checkbox"/>	i) All roof equipment, existing and proposed

5. **PRELIMINARY GRADING PLANS:**  
For projects involving grading or excavation of 50 cubic yards of material or more shall show the following:

C4  
C5  
N/A  
N/A

A	S	
<input type="checkbox"/>	<input type="checkbox"/>	a) Compliance with Chapter 18 & Chapter 33 of the California Building Code
<input type="checkbox"/>	<input type="checkbox"/>	b) Method of erosion control
<input type="checkbox"/>	<input type="checkbox"/>	c) Tree Survey/Arborist Report identifying all trees over 6" diameter at breast height (dbh) that are to be removed or destroyed by grading at the site
<input type="checkbox"/>	<input type="checkbox"/>	d) Identification and method for preservation of all trees over 6" dbh

6. **ADDITIONAL INFORMATION:**  
Staff may determine that some or all of the following may also be necessary for your project:

C4  
A4  
A3  
A5  
N/A

A	S	
<input type="checkbox"/>	<input type="checkbox"/>	a) Preliminary Drainage Plan
<input type="checkbox"/>	<input type="checkbox"/>	b) Color and Materials Board
<input type="checkbox"/>	<input type="checkbox"/>	c) Roof Plan (show slope, materials, location and size of HVAC equipment)
<input type="checkbox"/>	<input type="checkbox"/>	d) Sectional Drawings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e) Traffic Study <i>- same occupants already @ range - No increase in parking</i>

7. **PROJECT SITE POSTING REQUIREMENTS**  
Applicant shall provide photo evidence to Development Services that the posting of the project site, see attached *City Of Placerville Policy For Posting Properties For Development Projects*, was completed.

**8. CONSTRUCTION DEVELOPMENT DATA**

The following data is requested so that the City can provide you with necessary information as your project progresses. City Departments and other agencies will review this preliminary data and indicate requirements that must be met to implement the project. Should you not be able to provide this data or make significant changes in the proposed project, you should be aware that the City and/or other agencies may impose requirements later that could have significant financial implications.

**A. Building/Classification – California Building Code**

Type V (B)  
 Group(s) B & M  
 No. Stories single  
 Basement Floor Area NA  
 1<sup>st</sup> Floor Area 2,172 addition 10,700 (E)  
 2<sup>nd</sup> Floor Area N/A  
 3<sup>rd</sup> Floor Area N/A  
 Total Floor Area 12,873

Example	
Type	V-1 Hr.
Group(s)	B-2
No. Stories	2
Basement Floor Area	NA
1 <sup>st</sup> Floor Area	5,000 sq. ft.
2 <sup>nd</sup> Floor Area	2,500 sq. ft.
Total Floor Area	7,500 sq. ft.

**B. Exterior Walls**

**Structure**  
 Wood Framed  
 Steel Framed  
 Masonry  
 Concrete  
 Brick  
 Concrete  
 Poured  
 Tilt-up  
 Other

**Covering**  
 Wood  
 Plywood Siding  
 Wood Siding  
 Shingles  
 Stucco  
 Veneer  
 Brick (Thin)  
 Tile  
 Metal  
 Other

**C. Roof**

**Structure**  
 Wood Framed  
 Steel Framed  
 Concrete

**Covering**  
 Asphalt Shingles  
 Built-Up  
 Metal  
 Tile  
 Wood  
 Shingles  
 Class B  
 Other

**D. Floor**

**Structure**  
 Wood Framed  
 Steel Framed  
 Concrete  
 Other

**Covering**  
 Wood  
 Carpet  
 Other Concrete

**E. Ceilings**

**Structure**

Wood Framed  
 Steel Framed  
\_\_\_\_ Concrete

**Covering**

Gypsum Board  
\_\_\_\_ Non Rated  
\_\_\_\_ Fire Resistive  
\_\_\_\_ Plaster  
\_\_\_\_ Suspended  
\_\_\_\_ Non Rated  
\_\_\_\_ Fire Resistive  
 Wood  
\_\_\_\_ Other \_\_\_\_\_

**Fire Protection**

*N/A*

*NO SPRINKLERS*

**Water Supply**

*(E)* \_\_\_\_\_ City  
*(E)* \_\_\_\_\_ EID  
\_\_\_\_ Other \_\_\_\_\_

**Fire Hydrant(s)**

300 Feet from nearest fire hydrant to proposed structure(s).

\*NOTE: If structure(s) is of combustible construction, fire hydrant(s) may have to be installed prior to starting construction.

**Automatic Fire Extinguishing System(s)**

\_\_\_\_ Automatic Sprinkler System  
\_\_\_\_ Other \_\_\_\_\_

**Standpipes**

\_\_\_\_ Class I  
\_\_\_\_ Class II  
\_\_\_\_ Class III

**A. Liquefied Petroleum Gas** *(E) / moved*

Show size and location of tank on Site Plan with dimensions from property lines and structures.

I certify that I have completed and have included all material checked above in the attached application submittal.

Applicant Signature(s): Richard Rood RICHARD ROOD  
Print Name

Date: 3/28/23 \_\_\_\_\_  
Print Name

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CITY OF PLACERVILLE  
DEVELOPMENT SERVICES DEPT.

File Number: \_\_\_\_\_

Date Filed: \_\_\_\_\_

CITY OF PLACERVILLE

ENVIRONMENTAL INFORMATION FORM  
(To Be Completed By Applicant)

This form is required to be completed, returned and accepted as complete by the City prior to the application for the project is determined complete.

A. GENERAL INFORMATION

Project Title or

Name: HANGTOWN RANGE

City: PLACERVILLE

Name of Owner: RICHARD + DARLON ROOD Telephone: 520-621-1173

Address: 2211 SWANSBORO RD PLACERVILLE CA 95667

Name of Architect, Engineer or Designer: \_\_\_\_\_

Address: \_\_\_\_\_ Telephone: \_\_\_\_\_

Project Location: 1540 BROADWAY PLACERVILLE

Assessor's Parcel Number(s): 004-201-024-000

General Plan Designation: \_\_\_\_\_

Zoning: HWC-R1-6/A0

Property size

Gross (sq. ft./acre): 1.09 Acres

Net (sq. ft./acre) (total minus areas of public streets and proposed dedications) : \_\_\_\_\_

\*\*\*\*\*

Please answer all of the following questions as completely as possible.

B. PROJECT DESCRIPTION

1. Type of project and description: Addition - retail
2. What is the number of units/parcels proposed? N/A - 1 parcel
3. What is the gross number of units per acre? N/A
4. Site Size: existing, 1.09 Acres
5. Square footage of each use: see sheet A2
6. Number of floors of construction: single story
7. Amount of off-street parking provided: existing parking - reworked
8. Attach plans showing streets, utilities, existing and proposed contours (grading), drainage, all existing large trees (24" in circumference), existing and proposed buildings surrounding uses and/or buildings, landscape areas, parking areas, driveways, pedestrian walkways, exterior lighting, trash collection area, sign locations.
9. Proposed scheduling: one phase
10. If residential, include the number of units, schedule of unit sizes, range of sale prices or rents, and type of household size expected: N/A
11. If commercial, indicate the type, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities: sales area @ addition 1,053 s.f. - total addition 2,172 s.f. -

12. If industrial, indicate type, estimated employment per shift, and loading facilities

N/A

13. If institutional, indicate the major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits to be derived from the project: N/A

14. If the project involves a variance, conditional use or rezoning application, state this and indicate clearly why the application is required: N/A

15. Provide an analysis of traffic generated by the project and how it will impact existing traffic. NA

16. If the project is in a location of known mining activity, a complete geological analysis shall be submitted. N/A

Are the following items applicable to the project or its effects? Discuss below all items checked yes (attach additional sheets as necessary).

	YES	NO
17. Change in existing features of any hills or substantial alteration of ground contours.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Change in scenic views or vistas from existing residential areas or public lands or roads.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
19. Change in pattern, scale or character of general area of project.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20. Significant amounts of solid waste or litter.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. Change in dust, ash, smoke, fumes or odors in vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22. Change lake, stream or ground water quality or quantity, or alteration of existing drainage patters.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
23. Substantial change in existing noise or vibration levels in the vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Site on filled land or on slope of 10 percent or more.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Use of disposal of potentially hazardous materials, such as toxic substances, flammables or explosives.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Substantial change in demand for municipal services (police, fire, water, sewage, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Substantially increase fossil fuel consumption (oil, natural gas, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Is this project part of a larger project or series of projects.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

### ENVIRONMENTAL SETTING

29. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site. Snapshots or Polaroid photos will be accepted. \_\_\_\_\_

See photo sheet A4.

Existing site w/ building is developed

30. Describe the surrounding properties, including information on plants and animals and any cultural, historical or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one-family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, setback, rear yard, etc.). Attach photographs of the vicinity. Snapshots or Polaroid photos will be accepted. Commercial

### GEOLOGY AND SOILS

31. Identify the percentage of land in the following slope categories: (The applicant may wish to submit a map showing slopes.)

0 to 10%     11 to 15%     16 to 20%     21 to 29%     30 to 35%     Over 35

32. Have you observed any building or soil settlement, landslides, rock falls mining or avalanches on this property or in the nearby surrounding area? NO

If yes, please explain: \_\_\_\_\_

33. Describe the amount of cut and fill necessary for the project: NONE

### DRAINAGE AND HYDROLOGY

34. Is the project located within a flood plain? If so, describe and show area subject to flooding on a map. YES    See ATTACHED MAP

35. What is the distance to the nearest body of water, stream or year round drainage channel? Name of the water body: HANSTOWN CREEK

36. Will the project result in the direct or indirect discharge of silt or any other particles in noticeable amounts into any streams? NO

37. Will the project result in the physical alteration of a natural body of water or drainage way? If so, in what way? NO

38. Does the project area contain any wet meadows, marshes or other perennially wet areas? NO If so, delineate this area on Site Plan.

### VEGETATION AND WILDLIFE

39. What is the predominant vegetative cover on the site (trees, brush, grass, etc.)? Estimate percentage of each: N/A    (6) Paved

40. How many trees of 7.5-inch diameter or 20 feet high will be removed when this project is implemented? NONE

**FIRE PROTECTION**

41. What is the nearest emergency source of water for fire protection purposes? (Hydrant, pond, etc.): HYDRANT 300 FT
42. What is the distance to the nearest fire station? ONE MILE
43. Will the project create any dead-end roads greater than 300 feet in length? NO
44. Will the project involve the burning of any material, including brush, trees and construction materials? NO

**NOISE**

45. Is the project near a heavy commercial area, industrial area, freeway or major highway? If so, how far? 300 YARDS Hwy 50
46. What types of noise would be created by the establishment of this land use, both during and after construction? NORMAL CONSTRUCTION - NONE

**AIR QUALITY**

47. Would any noticeable amounts of air pollution, such as smoke, dust or odors be produced by this project? NO

**WATER QUALITY**

48. What is the proposed water source: EID  City of Placerville Well Other
49. What is the water use? (residential, agricultural, industrial or commercial): COMMERCIAL

**HAZARDS**

50. Is the site listed on California Environmental Protection Agency's Hazardous Site List? NO
- If yes, what is the regulatory identification number: \_\_\_\_\_
- Date of list: \_\_\_\_\_

**AESTHETICS**

51. Will the project obstruct scenic views from existing residential areas, public lands, public bodies of water or roads? NO

**ARCHAEOLOGY/HISTORY**

52. Do you know of any archaeological or historical areas within the boundaries or adjacent to the project? (example: Indian burial grounds, gold mines, etc.): NO

**SEWAGE**

53. What is the proposed method of sewage disposal? N/A
- Septic System  City Sewer Other: \_\_\_\_\_
54. Would the project require a change in sewage disposal methods from those currently used in the vicinity? NO

**TRANSPORTATION**

- 55. Will the project create any traffic problems or change any existing roads, highways, or existing traffic patterns? No
- 56. Will the project reduce or restrict access to public lands, parks or any public facilities? No
- 57. Will the project change the L.O.S. on any existing roads? No

**GROWTH INDUCING IMPACTS**

- 58. Will the project result in the introduction of activities not currently found within the community? No
- 59. Could the project serve to encourage development of presently undeveloped areas, or increases in development intensity of already developed areas (examples: include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)? No
- 60. Will the project require the extension of existing public utility lines? No If So, identify and give distances: \_\_\_\_\_

**GENERAL**

- 61. Will the project involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances or radioactive material? No
- 62. Will the proposed project result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, trees, minerals or top soil)? No
- 63. Could the project create new, or aggravate existing health problems (including, but not limited to flies, mosquitoes, rodents and other disease vectors)? No
- 64. Will the project displace any community residents? No

Discuss any yes answers to the previous questions, use additional sheets if necessary.

**MITIGATION MEASURES**

Proposed mitigation measures for any of the above questions where there will be an adverse impact, use additional sheets if necessary: N/A

**CERTIFICATION**

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

3/28/23  
Date

Richard Rood  
Signature

CD-021-P  
3/15

For \_\_\_\_\_

# TRAFFIC STUDY

RECEIVED  
APR 12 2023

CITY OF PLACERVILLE  
DEVELOPMENT SERVICES DEPT.

## City Code Site Plan Review Regulations

Per two sections of City Code (PCC), 10-4-9(C)2 and PCC 8-3-28, the potential new construction would require Site Plan Review. Copies of these PCC sections are attached to this memo. Site Plan Review is the process the Hangtown Range shooting facility project went through in 2017 under SPR17-03.

PCC 10-4-9(C)2 is a component of the Site Plan Review regulations within the Zoning Ordinance. Under this section the Planning Commission shall review each application for a building permit involving any exterior additions or combination of additions thereof which would add one thousand (1,000) square feet or more to existing commercial buildings within the lifetime of the building.

N/D  
155 vt { PCC 8-3-28 is the official City policy relative to the issuance of permits and encroachments in the Hangtown Creek area. The policy prohibits permits issued in the Hangtown Creek area for construction which will unreasonably interfere with the city's right to use and maintain the creek for drainage and other reasonable municipal public uses and rights. The City Engineer is responsible for issuance of encroachment permits under this section. However, when an encroachment involves the construction or reconstruction of a structure in the Hangtown Creek area, Site Plan Review shall be required.

The procedure that governs the submission and review of Site Plan Reviews is PCC 10-4-9(E). Due to the location of the site and that proposed new construction is within a floodplain or flood prone area, the submittal must comply with the Flood Damage Protection regulations (PCC 4-9-1 through 4-9-6) as mentioned. This includes complying with the procedures for a *Development Permit* under PCC 4-9-4(C).

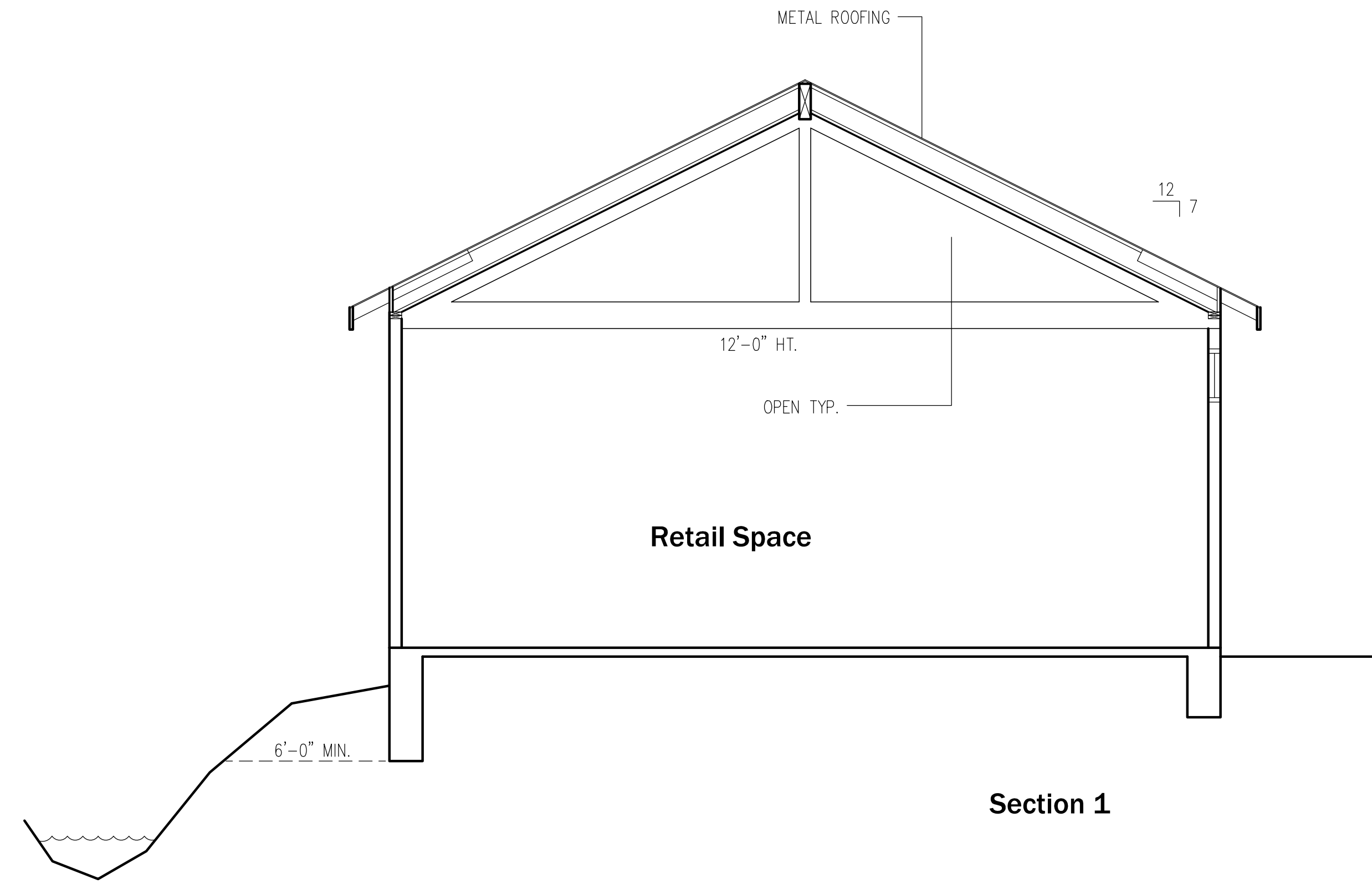
## City Code Use / Parking Regulations

\* { Proposal would expand existing retail and storage space for the shooting facility that is defined as a place of entertainment as defined under PCC 10-1-4. Parking for the shooting facility was entitled under SPR17-03 at 38 spaces, where 34 spaces were required per the parking requirements under PCC 10-4-4(E)13 at 2 spaces for each of the 17 shooting lanes. As presented by the applicant, no additional shooting lanes were proposed therefore no additional parking would be necessary for the retail and storage additions.

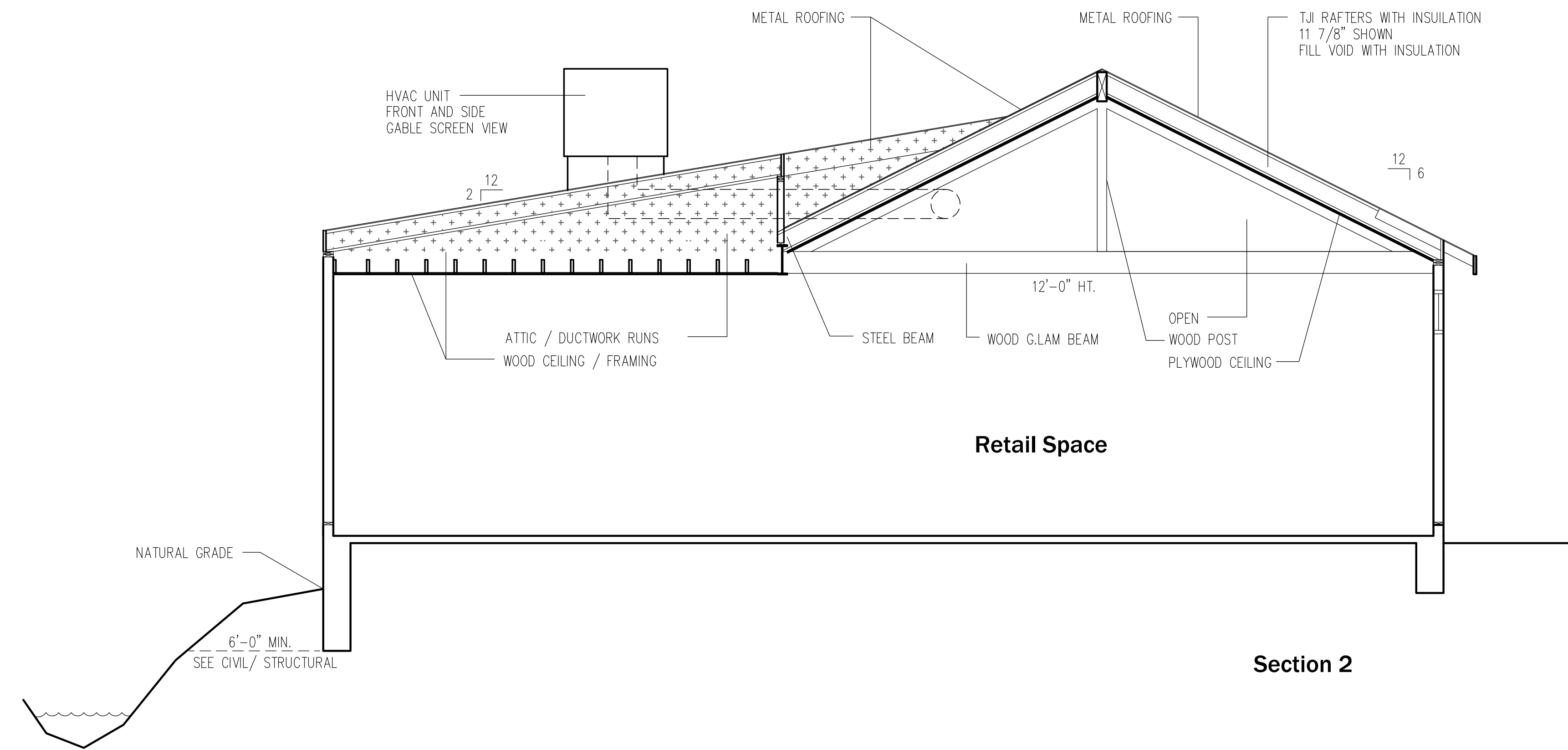
Andrew Painter, City Planner  
Development Services Department

### Enclosures

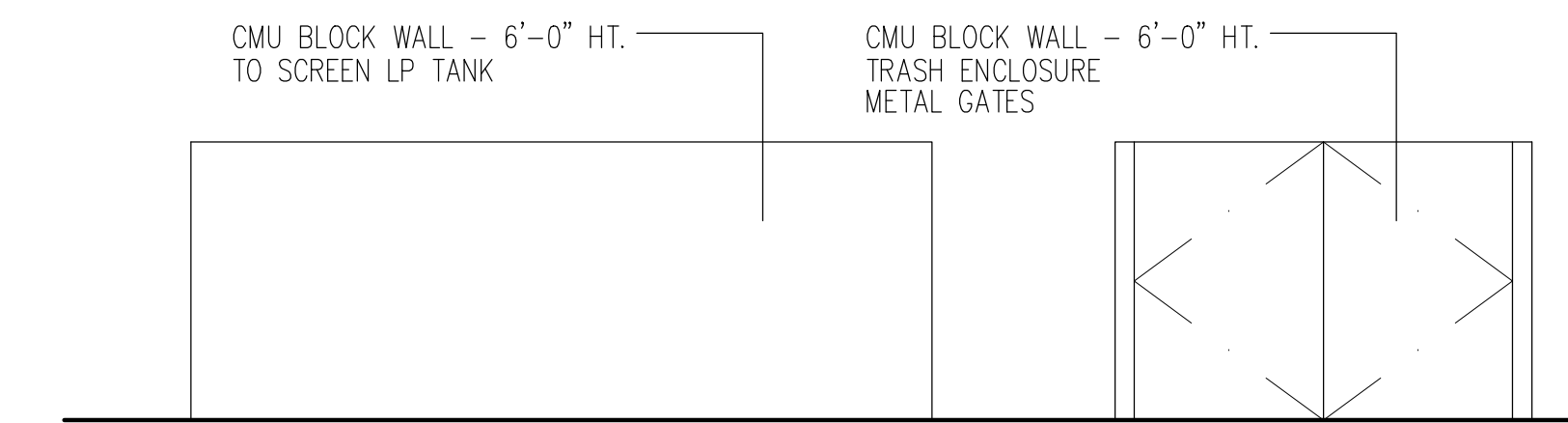
- GOTNET - Project Parcel with FEMA Floodway and Flood Zone
- FEMA FIRM viewer for 1540 Broadway and Vicinity
- PCC Title 4, Chapter 9. Flood Damage Protection
- PCC 8-3-28: Hangtown Creek Encroachment
- Page II-4 of Chapter II.C.3 of the City of Placerville Development Guide



Section 1



Section 2



TRASH ENCLOSURE  
SCREEN WALL AT LP TANK

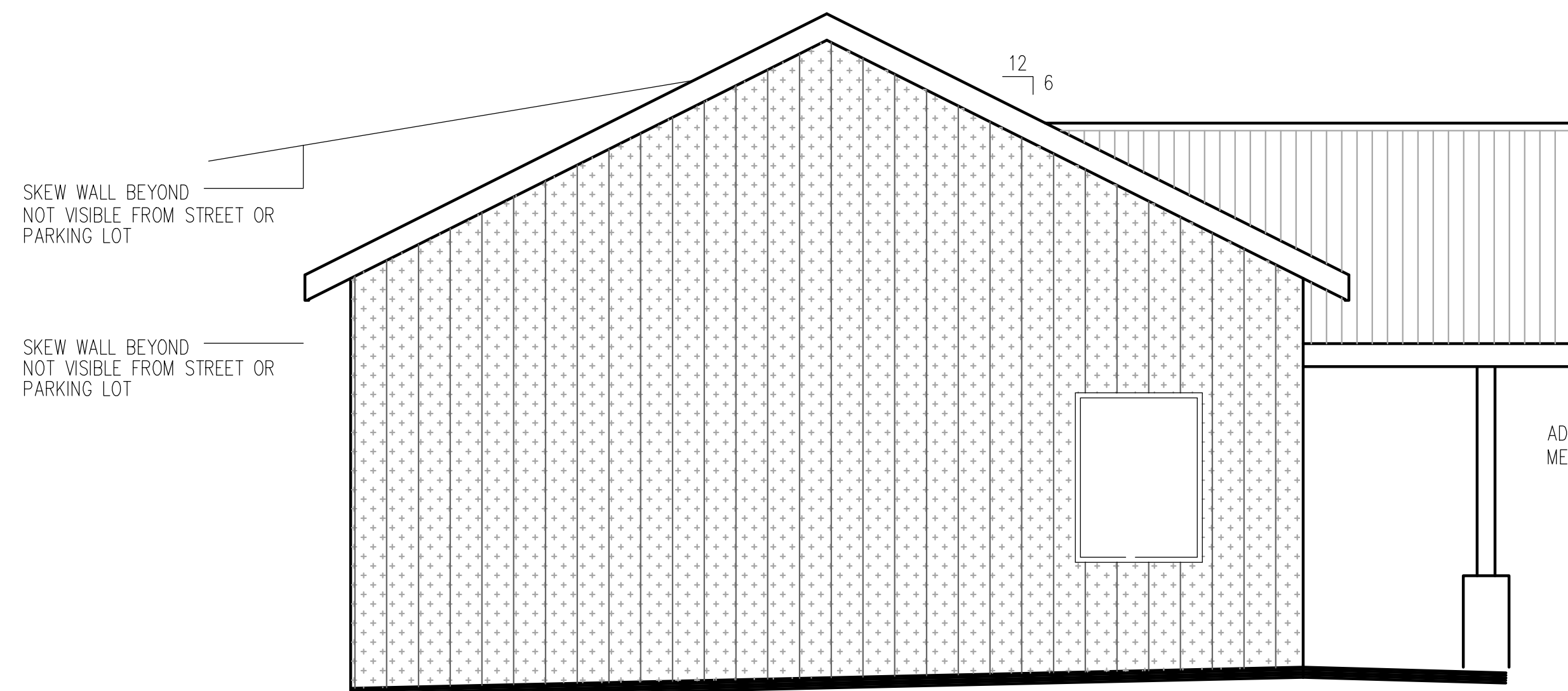
# Hangtown Range

1540 Broadway  
Placerville, CA

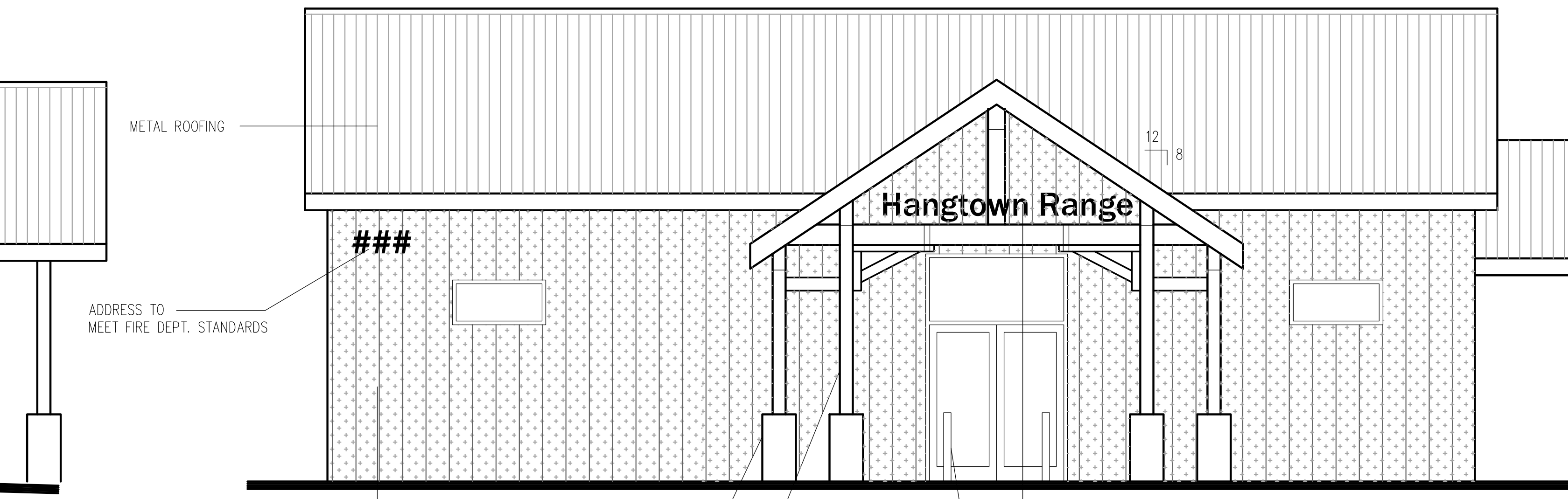
## ELEVATIONS SECTIONS

SCALE AS SHOWN  
DATE 3-23-23

SHT A5



**Addition East Elevation**



**Addition North Elevation**

**COLORS AND MATERIALS**

ROOF: MATCH (E) BLDG - METAL  
 SIDING: MATCH (E) BLDG - METAL  
 ENTRY: WOOD BEAMS AND CONCRETE, - MATCH (E) BLDG.  
 DOORS AND WINDOWS - MATCH (E) BLDG. - STOREFRONT AND METAL WINDOW FRAMES



**Image Elevation**

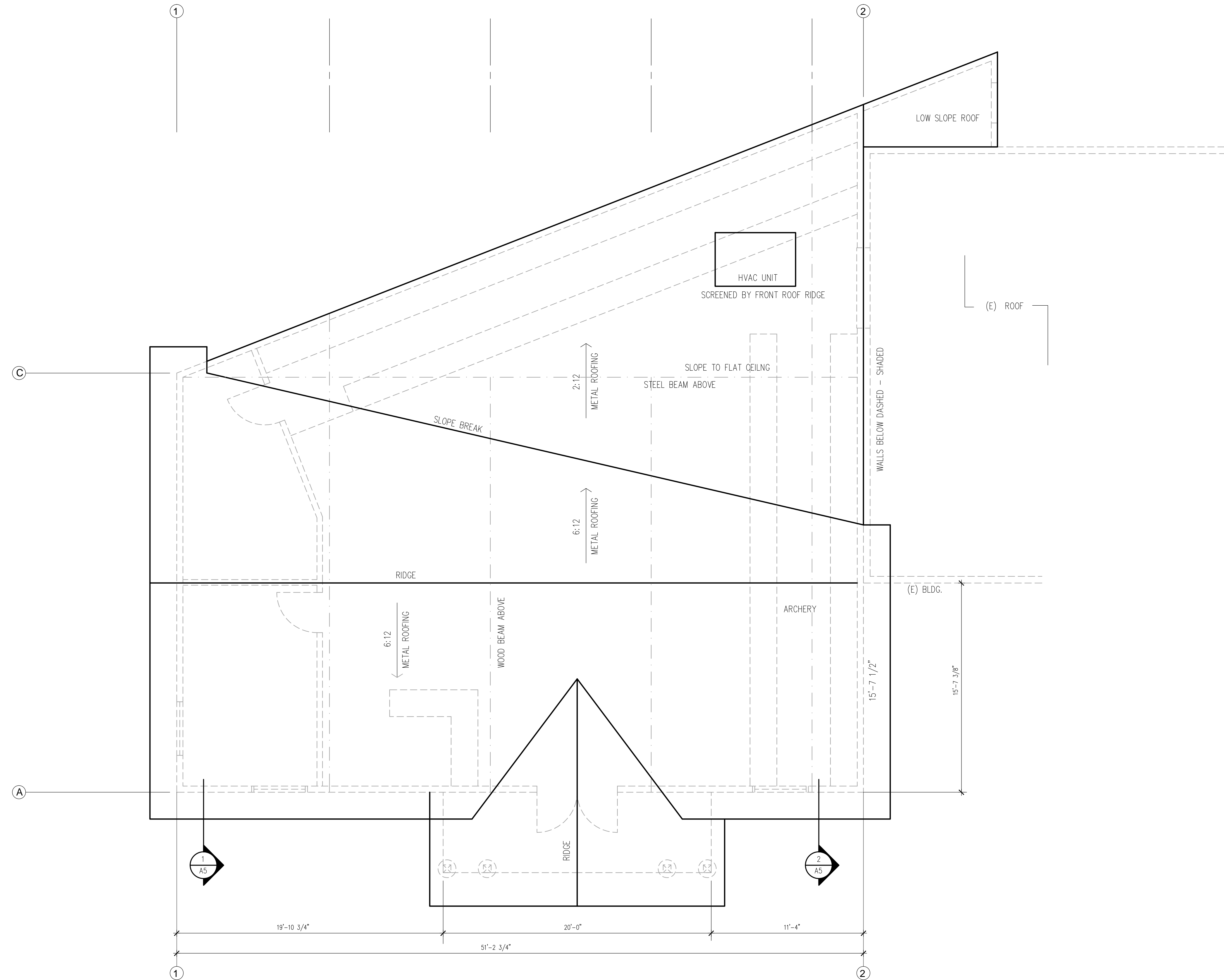
**Hangtown  
Range**

1540 Broadway  
 Placerville, CA

**ELEVATIONS  
SECTIONS**

SCALE AS SHOWN  
 DATE 3-23-23

**SHT A4**



# Hangtown Range

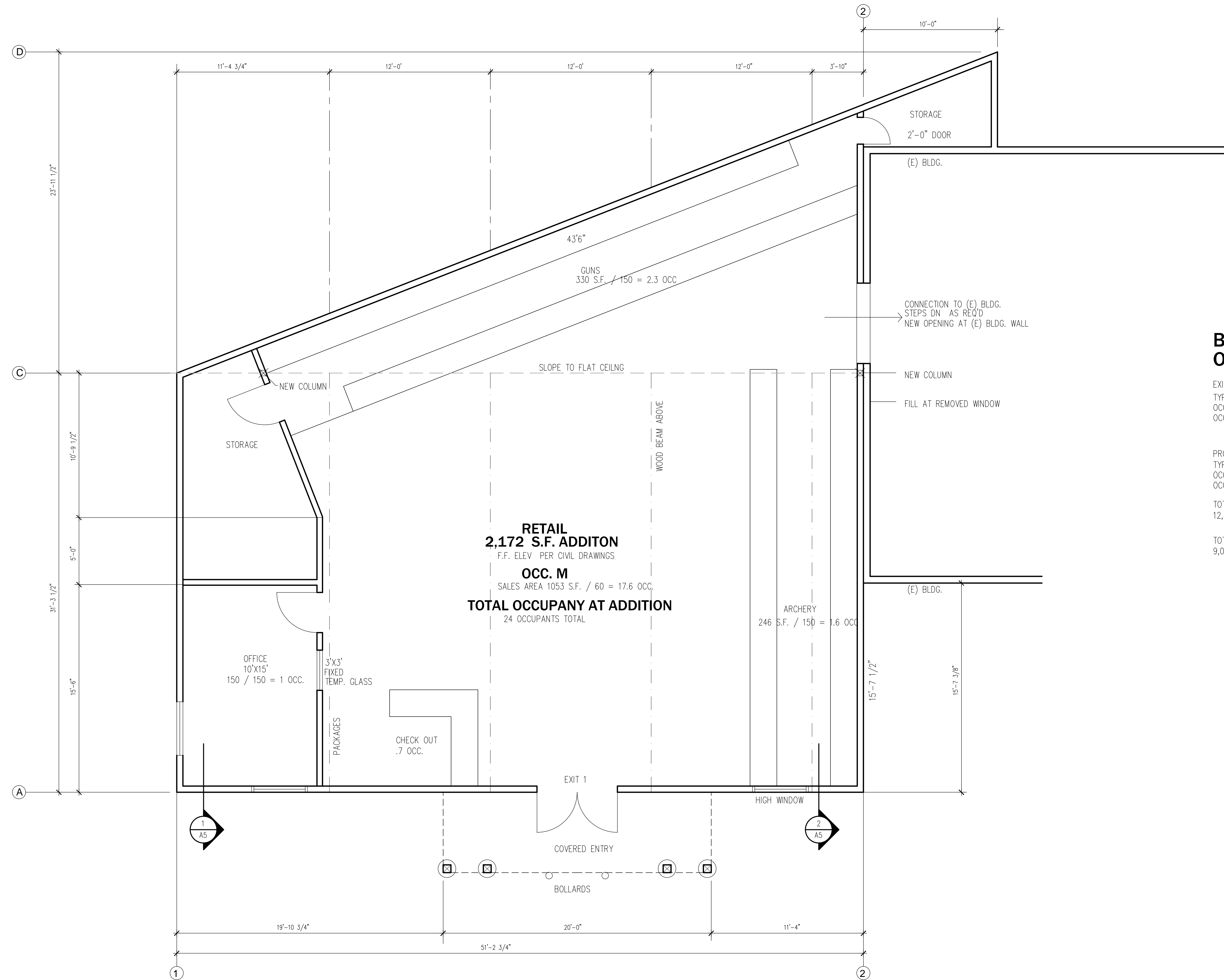
1540 Broadway  
Placerville, CA

## ROOF PLAN



SCALE AS SHOWN  
DATE 3-23-23

SHT A3



**BUILDING AREA/ TYPE/ OCCUPANCY**

EXISTING BUILDING 10,700 S.F.  
TYPE OF BLDG TYPE V (B)  
OCCUPANCY TYPE "B" BUSINESS  
OCCUPANTS 10,700/150 = 72 OCC.

PROPOSED ADDITION 2172 S.F.  
TYPE OF BLDG TYPE V (B)  
OCCUPANCY TYPE "M" MERCHANT  
OCCUPANTS (SEE PLAN THIS SHEET) 24 TOTAL

TOTAL AREA (NEW AND EXISTING)  
12,873 S.F.

TOTAL AREA ALLOWED CBC CHAPTER 5  
9,000 S.F. + 9,000 (YARDS) = 18,000 S.F.

**Hangtown Range**

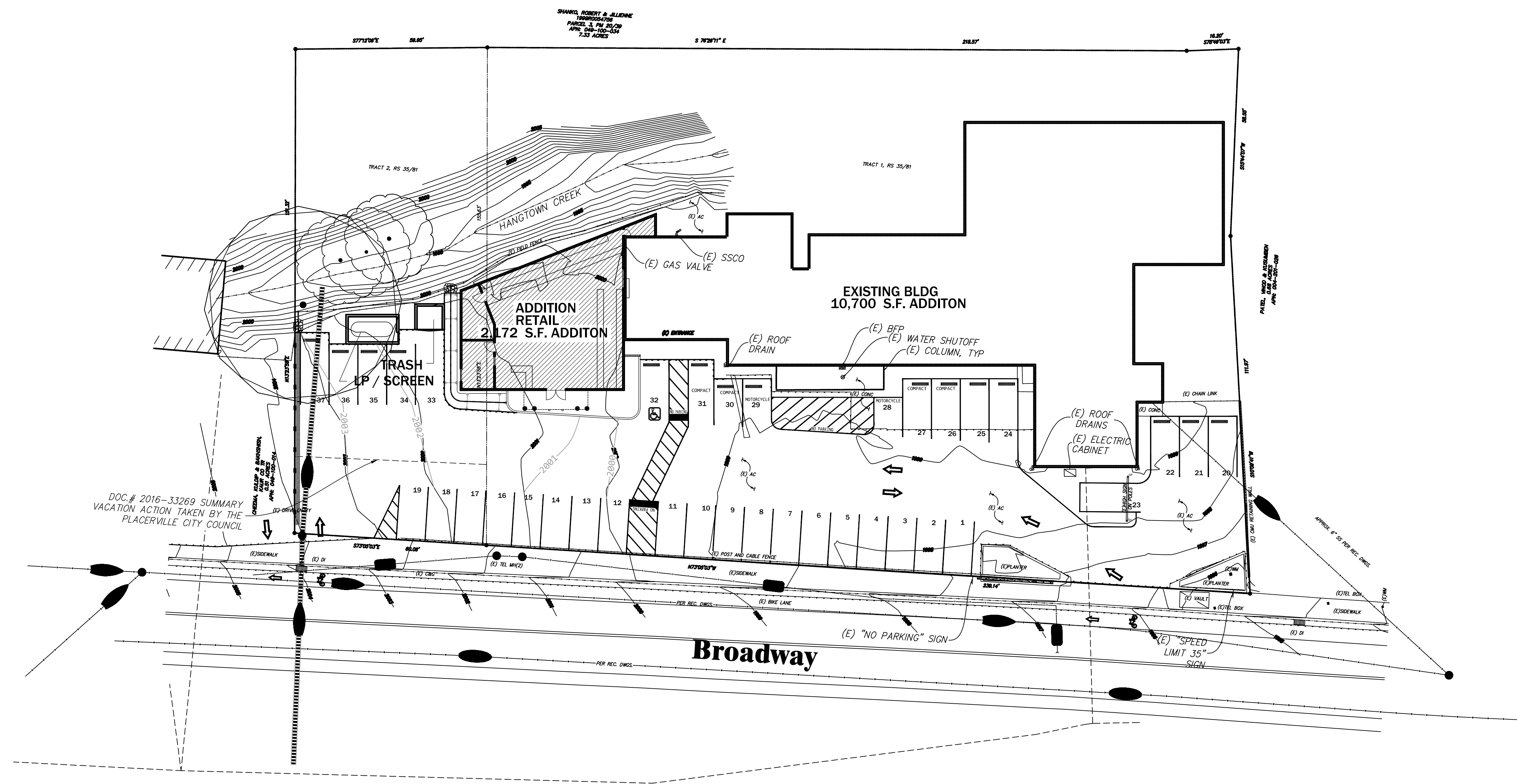
1540 Broadway  
Placerville, CA

**FLOOR PLAN**



SCALE AS SHOWN  
DATE 3-23-23

**SHT A2**



# Hangtown Range

1540 Broadway  
Placerville, CA

## SITE PLAN

PLAN NORTH

SCALE 1" = 20'-0"  
DATE 3-23-23

**SHT A1**

# Hangtown Range

1540 Broadway Placerville, CA

BRIAN WICKERT- ARCHITECT  
P.O. BOX 2106  
SHINGLE SPRINGS, CA 95682  
PH: 530-401-3390



## PROJECT NOTES / COMPLIANCE

- ALL WORK DONE ON THIS PROJECT SHALL COMPLY WITH THE 2022 CBC,CSC,CMC,OPC,CEC AND TITLE 24 ENERGY REQUIREMENTS. (ALSO ALL LOCAL ORDINANCES AND FIRE DISTRICT REQUIREMENTS)
- ALL PRODUCTS, MATERIALS, DEVICES AND WORKMANSHIP STANDARDS,ARE TO MEET THE REQUIREMENTS AND STANDARDS OF THE PROJECT OWNERSHIP, BUILDING CODES, AND LOCAL AGENCIES.
- IF ADDITIONAL INFORMAION OR CLERIFICATION OF DOCUMENTS IS NEED, PROVIDE WRITTEN REQUEST TO ARCHIECT.
- ANY DIMENSIONAL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING. DO NOT SCALE THE DRAWINGS
- ALL DEFERRED APPROVAL DRAWINGS ARE TO BE REVIEWED BY ARCHITECT AND ENGINEERS PRIOR TO CONSTRUCTION.
- ALL MAJOR COMPONENTS OF THE BUILDING SHALL REQUIRE SHOP DRAWINGS AND SUBMITTALS . TO BE REVIEWED BY GENERAL CONTRACTOR, ARCHITECT OR ENGINEERS.
- ALL WORK PERFORMED ON THE PROJECT, OR GOODS PROVIDED IS TO BE PERFORMED , OR PROVIDED BY LICENSED PERSONS OR ENTITIES WHEN REQUIRED BY LAW.
- COORDINATION OF WORK BETWEEN TRADES IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR
- SAFETY IS THE ENTIRE RESPONSIBILITY OF OTHERS. CONDUCT ALL WORK IN ACCORDANCE WITH THE REQUIRED CODES AND REGULATIONS OF ALL AUTHORIES HAVING JURSDICTION OVER THE WORK
- ALL CITY OF PLACERVILLE REQUIREMENTS FOR INSPECTIONS AND CONSTRUCTION

## INDEX OF DRAWINGS

### ARCHITECTURE

- A0 COVER SHEET, PROJECT DATA AND SCOPE OF WORK
- A1 ARCHITECTURAL SITE PLAN
- A2 FLOOR PLAN , OCCUPANCY
- A3 ROOF PLAN
- A4 ELEAVATION AND COLORS
- A5 BUILDING SECTIONS, TRASH ENCLOSURE

### CIVIL

- C1 COVER SHEET
- C2 EXISTING CONDITIONS / DEMO PLAN
- C3 SITE PLAN
- C4 PRELIMINARY GRADING PLAN
- C5 EROSION CONTROL PLAN
- C6 EROSION CONTROL NOTES AND DETAILS

## SCOPE OF WORK

CONSTRUCT SITE IMPROVEMENTS  
CONSTRUCT BUILDING ADDITION TO EXISTING HANGTOWN RANGE EXISTING FACILITY

## PROJECT TEAM

### PROPERTY OWNER

DICK ROOD  
RANGETOWN RANGE

### ARCHITECT

BRIAN WICKERT - ARCHITECT INC  
P.O. BOX 2106 SHINGLE SPRINGS CA 95682  
CELL: 530-401-3390

CONTACT: BRIAN WICKERT  
[brianwickert@bcglobal.net](mailto:brianwickert@bcglobal.net)

### CIVIL ENGINEER

Bobbie Lebeck  
LEBECK ENGINEERING, INC  
3430 ROBIN LANE, BLDG #2  
CAMERON PARK, CA 95682  
PHONE 530-677-4080

[Bobbie@lebeckeng.com](http://Bobbie@lebeckeng.com)

### STRUCTURAL ENGINEER

Lori Burne  
BURNE ENGINEERING, EDH  
PHONE 530-672-1600

[lori@burneengineering.com](http://lori@burneengineering.com)

## PROJECT DATA

**ZONING:** COMMERCIAL  
**BUILDING TYPE** EXISTING TYPE V-B NON-SPRINKLERED  
**BUILDING AREAS** AREA OF ADDITION 2,172 S.F.  
**OCCUPANCY TYPE** M - merchant  
**PARKING** 37 STALLS  
**CODES** ALL WORK DONE ON THIS PROJECT SHALL COMPLY WITH THE 2022 CBC,CMC,OPC,CEC AND TITLE 24 ENERGY REQUIREMENTS. (ALSO ALL LOCAL ORDINANCES AND FIRE DISTRICT REQUIREMENTS)

### BUILDING AREA/ TYPE/ OCCUPANCY DETAIL

EXISTING BUILDING 10,700 S.F.  
TYPE OF BLDG TYPE V (B)  
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OCCUPANTS 10,700/150 = 72 OCC.

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OCCUPANCY TYPE "M" MERCHANT  
OCCUPANTS (SEE FLOOR PLAN) 24 TOTAL

TOTAL AREA (NEW AND EXISTING)  
12,872 S.F.

### MAX. AREA ALLOWED

TOTAL AREA ALLOWED CBC CHAPTER 5  
9,000 S.F. + 9,000 (YARDS) = 18,000 S.F.

### PARKING

TOTAL STALLS 37 EXISTING AND PROPOSED  
NOTE: RETAIL AREA IS TO SERVE OCCUPANTS  
ALREADY AT BUILDING / USING RANGE  
NO ADDITIONAL PARKING ANTICIPATED FOR ADDITION

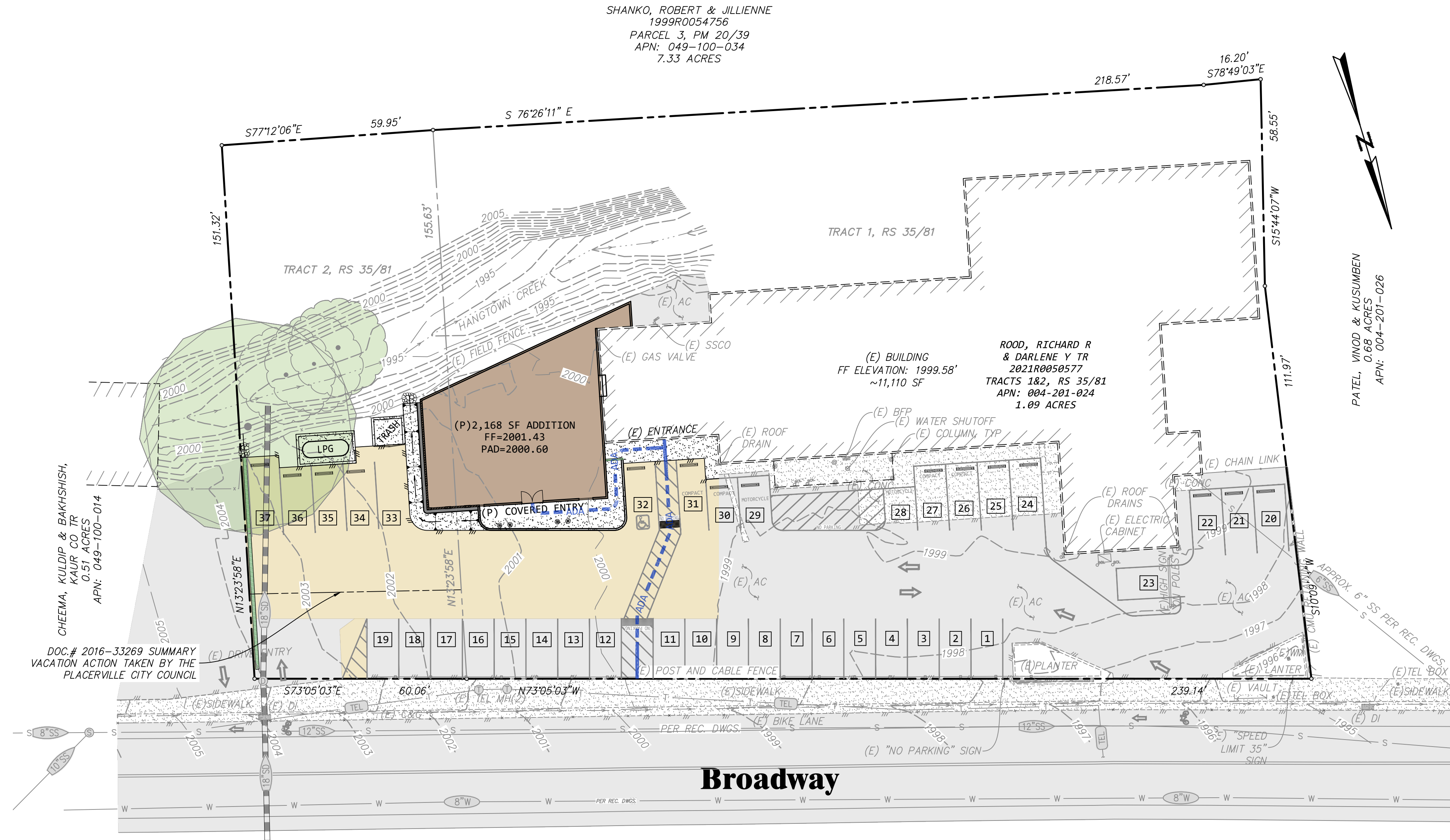
## COVER SHEET

DATE 3-23-23

SHT A0

# Hangtown Range - Building Addition Cover Sheet

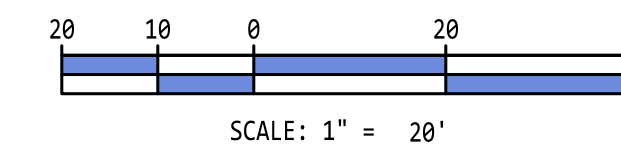
1540 Broadway Placerville, CA - APN: 004-201-024  
January 2023



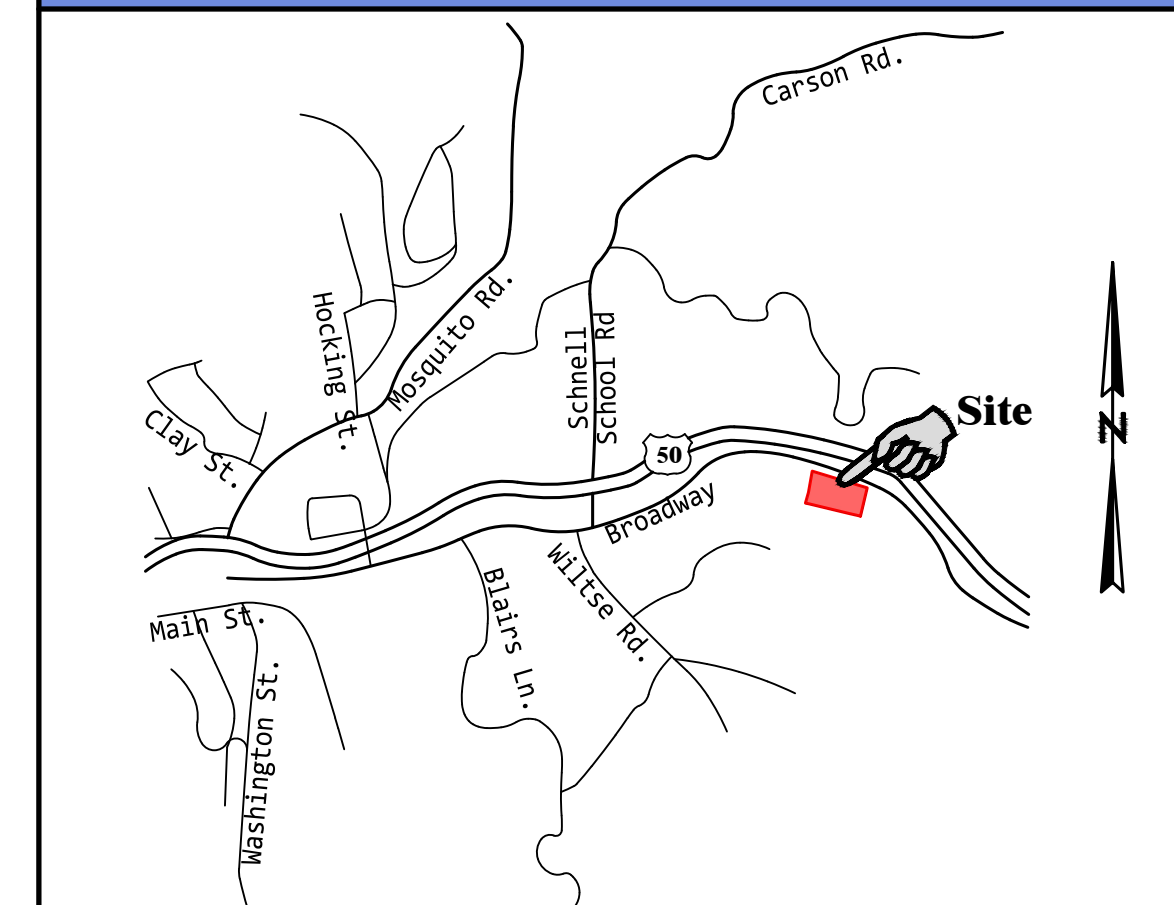
## Project Overview

### Project Data:

LOT AREA = 47,370 SF (1.09 ACRES)  
EXISTING & PROPOSED IMPERVIOUS AREA = 28,409 SF (60% OF LOT AREA)  
EXISTING PARKING = 37 SPACES  
PROPOSED PARKING = 37 SPACES



## Vicinity Map



## Abbreviations

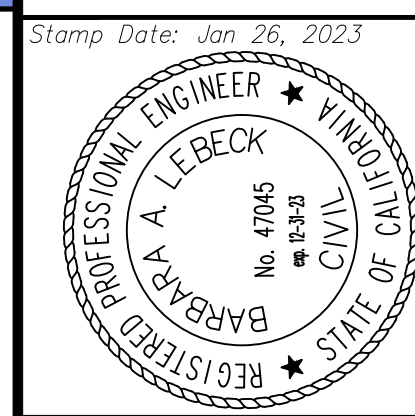
AC	ASPHALTIC CONCRETE	GB	GRADE BREAK
AB	AGGREGATE BASE	LOC	LIMITS OF CONSTRUCTION
BFP	BACKFLOW PREVENTER	(M)	MEASURED BEARING OR DISTANCE
BW	BOTTOM OF WALL AT FG	(P)	PROPOSED
CMP	CORRUGATED METAL PIPE	PCC	PORTLAND CEMENT CONCRETE
CN	CONCRETE	POC	POINT OF CONNECTION
CV	CHECK VALVE	PUE	PUBLIC UTILITIES EASEMENT
DCV	DOUBLE CHECK VALVE	R	RADIUS
DMY	DRIVEWAY	(R)	RECORD BEARING OR DISTANCE
(E)	EXISTING	RPDA	REDUCED PRESSURE DETECTOR ASSY
EL	ELEVATION	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SS	SANITARY SEWER
FDC	FIRE DEPT. CONNECTION	TC	TOP OF CURB ELEVATION
FF	FINISHED FLOOR	TW	TOP OF WALL
FG	FINISHED GRADE	UP	UTILITY POLE
FH	FIRE HYDRANT	W	WATER
FL	FLOWLINE	WM	WATER METER

## Project Data

OWNER / APPLICANT	HANGTOWN RANGE C/O: RICHARD "DICK" ROOD 2211 SWANSBORO ROAD PLACERVILLE, CA 95667 PHONE: 530-621-1173 EMAIL: DDROOD@HUGHES.NET
PREPARED BY	<b>LEBECK ENGINEERING, INC.</b> 3430 ROBIN LANE, BLDG. #2 CAMERON PARK, CA 95682 Ph. 530-677-4080
ENGINEER	BOBBIE LEBECK, P.E.
SCALE	1" = 20'
CONTOUR INTERVAL	1 FOOT
SOURCE OF TOPOGRAPHY	FIELD SURVEY BY NORCAL GEOMATICS
SECTION, TOWNSHIP AND RANGE	S.W.1/4 OF SEC.9, T.10N, R.11E, M.D.M.
SITUS ADDRESS	1540 BROADWAY, PLACERVILLE, CA
ASSESSOR'S PARCEL NUMBER	004-201-024
ZONING	HMC-R1-6/AO
GENERAL PLAN LUD	BROADWAY VILLAGE CORRIDOR
TOTAL AREA	1.09 ACRES
TOTAL# OF PARCELS	1
WATER SUPPLY	CITY OF PLACERVILLE
SEWAGE DISPOSAL	CITY OF PLACERVILLE
FIRE PROTECTION	EL DORADO COUNTY FIRE PROTECTION DIST.
PREPARATION DATE	DECEMBER 2022
PROJECT#:	22-140

## Sheet Index

C1	COVER SHEET
C2	EXISTING CONDITIONS / DEMO PLAN
C3	SITE PLAN
C4	GRADING PLAN
C5	EROSION CONTROL PLAN
C6	EROSION CONTROL NOTES & DETAILS



**Cover Sheet**  
Hangtown Range - Building Addition  
Tracts 1 & 2, RS 35/81  
1540 Broadway, Placerville, CA - APN: 004-201-024

HANGTOWN RANGE  
c/o: Richard "Dick" Rood  
2211 Swansboro Road  
Placerville, CA 95667  
Phone: 530-621-1173  
Email: ddrOOD@hughes.net

Project # 22-140  
Date: January 2023  
Scale: 1" = 20'  
Designed by: B. Lebeck  
Drawn by: R. Personius

SHEET NO.

Plot Date: Jan 26, 2023

# C1

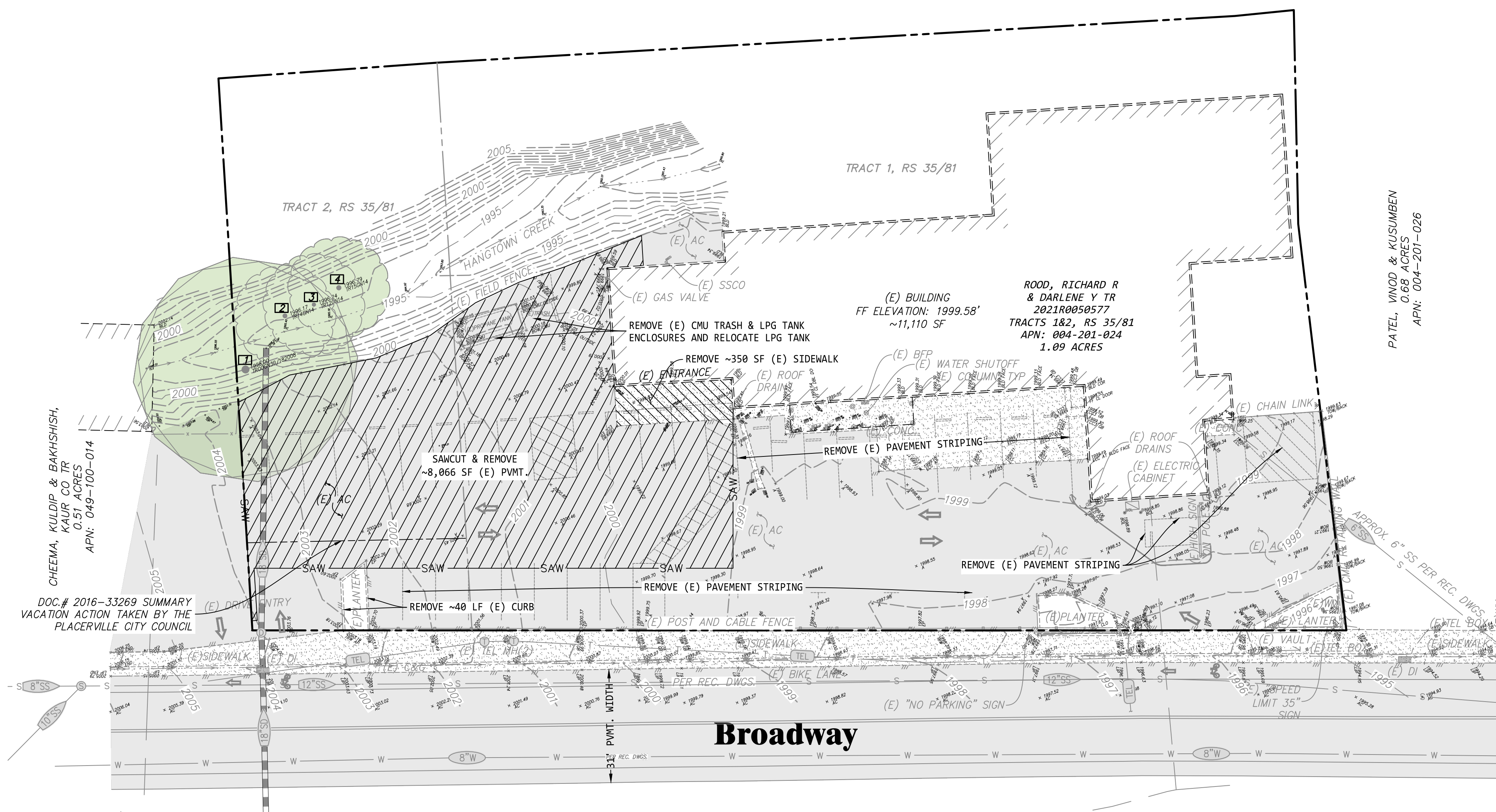
**LEBECK ENGINEERING, INC.**  
3430 ROBIN LANE, BLDG. #2  
CAMERON PARK, CA 95682  
Ph. 530-677-4080

# Hangtown Range - Building Addition Existing Conditions / Demo Plan

1540 Broadway Placerville, CA - APN: 004-201-024

January 2023

SHANKO, ROBERT & JILLIENNE  
1999R0054756  
PARCEL 3, PM 20/39  
APN: 049-100-034  
7.33 ACRES



## Survey Legend

○	DIMENSION POINT—NOTHING FOUND OR SET
⊕	SIGN
⊕ <sup>SP</sup>	STEEL POST
⊕ <sup>SD</sup>	ROOF DRAIN
⊕ <sup>BOL</sup>	BOLLARD
⊕ <sup>EV</sup>	ELECTRICAL VAULT
⊕ <sup>P</sup>	PILLAR
⊕ <sup>TM</sup>	TELEPHONE MANHOLE
⊕ <sup>BP</sup>	BACKFLOW PREVENTER
⊕ <sup>TB</sup>	TELEPHONE BOX
⊕ <sup>SSM</sup>	SANITARY SEWER MANHOLE
⊕ <sup>SDI</sup>	STORM DRAIN INLET
⊕ <sup>SC</sup>	SEWER CLEANOUT
⊕ <sup>SB</sup>	SEWER BOX
⊕ <sup>PB</sup>	PARKING BUMPER
⊕ <sup>GV</sup>	GAS VALVE
⊕ <sup>PT</sup>	PROPANE TANK
⊕ <sup>WV</sup>	WATER VALVE
⊕ <sup>WM</sup>	WATER METER

## Survey Notes

- PLACER TITLE REPORT POLICY NO.: OP-6-CA1000-4970799 SUPPLIED BY CLIENT.
- THE EXACT LOCATION OF EASEMENT PER BK 738 PG 467 CANNOT BE DETERMINED. SURVEYOR SUGGESTS CONTACTING USA TO INSURE THERE ARE NO UNDERGROUND WATERLINES IN THE VICINITY.

## Tree Table

⊕	3 TREE CLUSTER	18" 20" 08"
⊕	14" TREE	
⊕	12" TREE	
⊕	15" TREE	

## Bench Mark

DESIGNATION F 127  
PID JS0517

NAVD 1988 ELV: 1680.4 FEET <sup>ELEVATION USED</sup>

NGVD 1929 ELV: 1677.65 FEET

DESCRIBED BY COAST AND GEODETIC SURVEY 1944 1.5 MI SW FROM PLACERVILLE. 1.5 MILES SOUTHWEST ALONG U.S. HIGHWAY 50 FROM PLACERVILLE, EL DORADO COUNTY, AT BRIDGE 2506 OVER HANGTOWN CREEK, AND IN THE TOP OF THE NORTHWEST CONCRETE WING WALL. A STANDARD DISK, STAMPED F 127 1932.

## Basis of Bearings

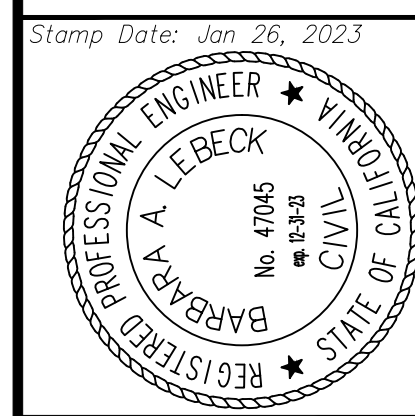
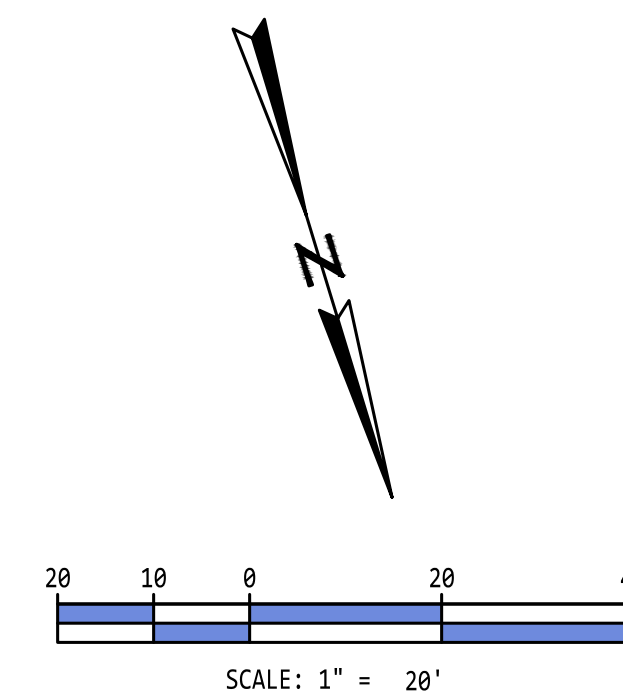
THE MERIDIAN OF THIS SURVEY IS IDENTICAL TO THAT OF RS 35-81 BASED ON FOUND MONUMENTS.

## Surveyor's Statement

THIS SURVEY IS BASED UPON A FIELD SURVEY CONDUCTED UNDER MY DIRECTION. THE BOUNDARY SHOWN IS BASED ON THE RESOLUTION SHOWN ON RS 35-81. THE EASEMENTS SHOWN ARE THOSE THAT WERE REFERENCED ON SAID MAP AND ON THE TITLE REPORT REFERRED TO IN NOTE 1. SETBACKS OF RECORD MAY EXIST.



BRENDAN WILLIAMS, P.L.S. 9049



**Existing Conditions / Demo Plan**  
 Hangtown Range - Building Addition  
 Tracts 1 & 2, RS 35/81  
 1540 Broadway, Placerville, CA - APN: 004-201-024

HANGTOWN RANGE  
 c/o: Richard "Dick" Rood  
 2211 Swansboro Road  
 Placerville, CA 95667  
 Phone: 530-621-1173  
 Email: ddr-ood@hughes.net

Project # 22-140  
 Date: January 2023  
 Scale: 1" = 20'  
 Designed by: B. Lebeck  
 Drawn by: R. Personius

SHEET NO.  
**C2**

Plot Date: Jan 26, 2023

**LEBECK**  
**ENGINEERING, INC.**  
 3430 ROBIN LANE, BLDG. #2  
 CAMERON PARK, CA 95682  
 Ph. 530-677-4080

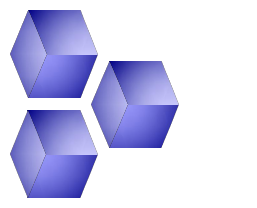
Stamp Date: Jan 26, 2023

# Hangtown Range - Building Addition Site Plan

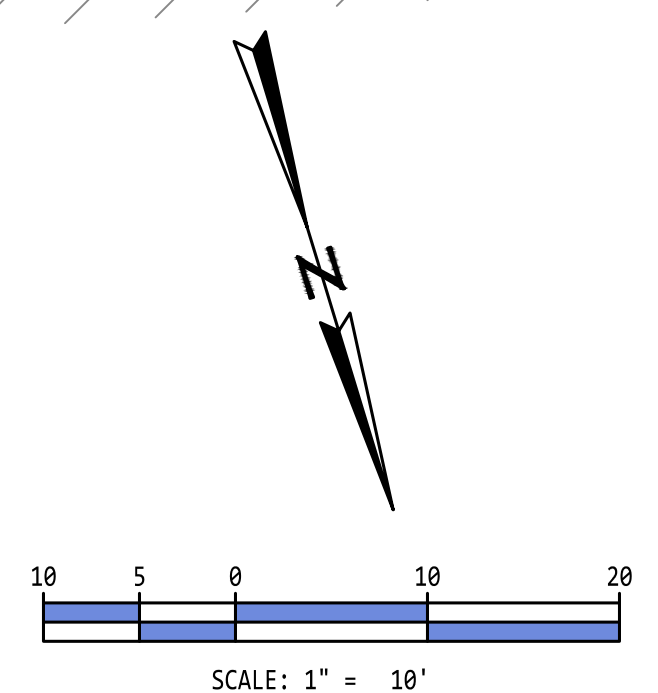
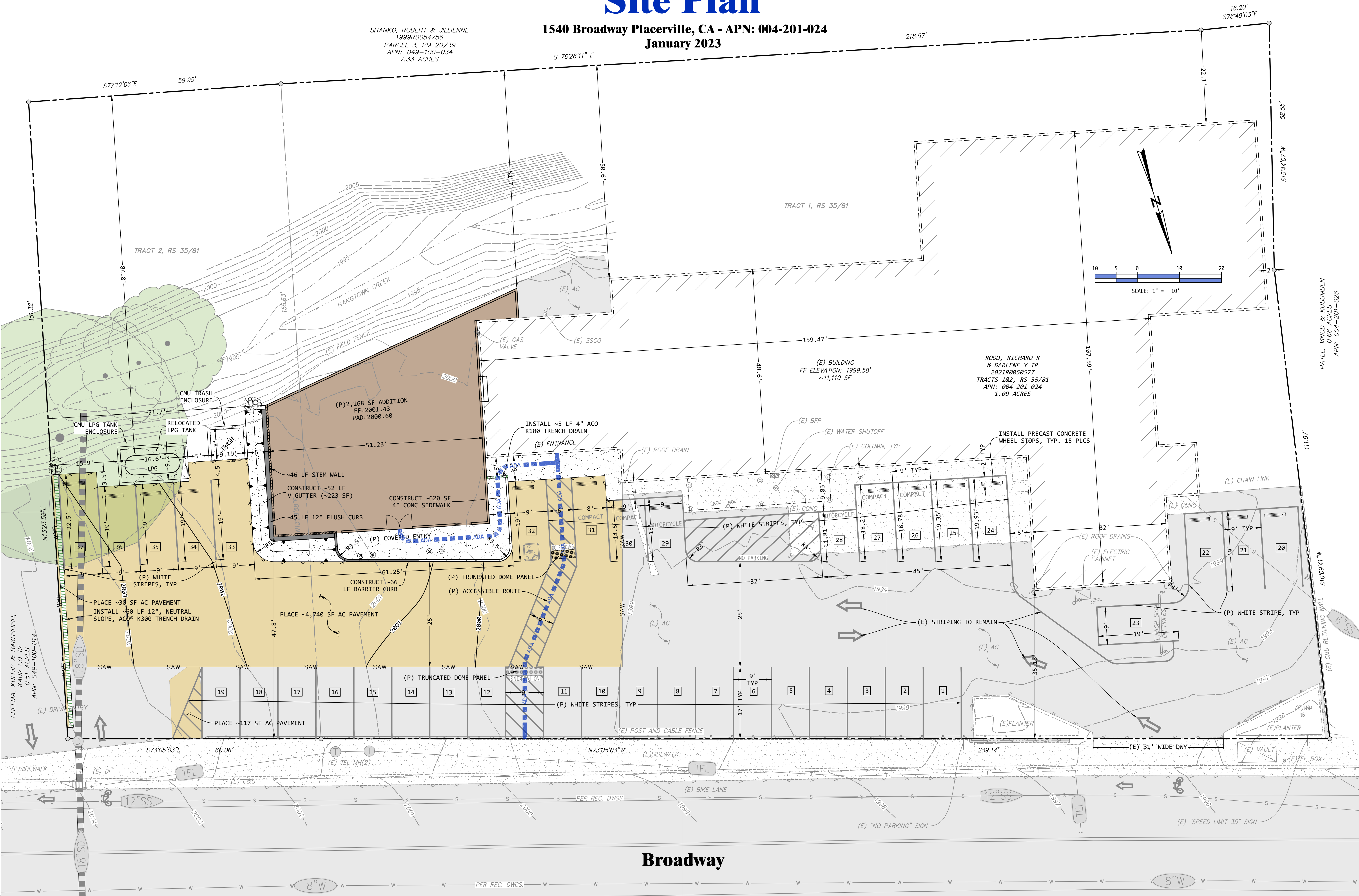
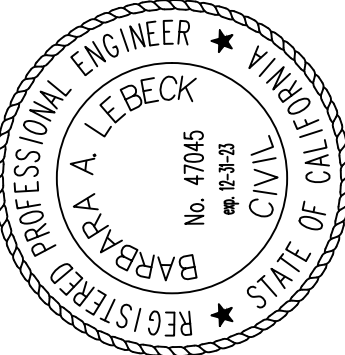
1540 Broadway Placerville, CA - APN: 004-201-024  
January 2023

SHANKO, ROBERT & JILLIENNE  
1999R0054756  
PARCEL 3, PM 20/39  
APN: 049-100-034  
7.33 ACRES

LEBECK  
ENGINEERING, INC.  
3430 ROBIN LANE, BLDG. #2  
CAMERON PARK, CA 95682  
Ph. 530-677-4080



Stamp Date: Jan 26, 2023



**Site Plan**  
Hangtown Range - Building Addition  
Tracts 1 & 2, RS 35/81  
1540 Broadway, Placerville, CA - APN: 004-201-024

HANGTOWN RANGE  
c/o: Richard "Dick" Rood  
2211 Swansboro Road  
Placerville, CA 95667  
Phone: 530-621-1173  
Email: ddr-rood@hughes.net

Project # 22-140  
Date: January 2023  
Scale: 1" = 10'  
Designed by: B. Lebeck  
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SHEET NO.

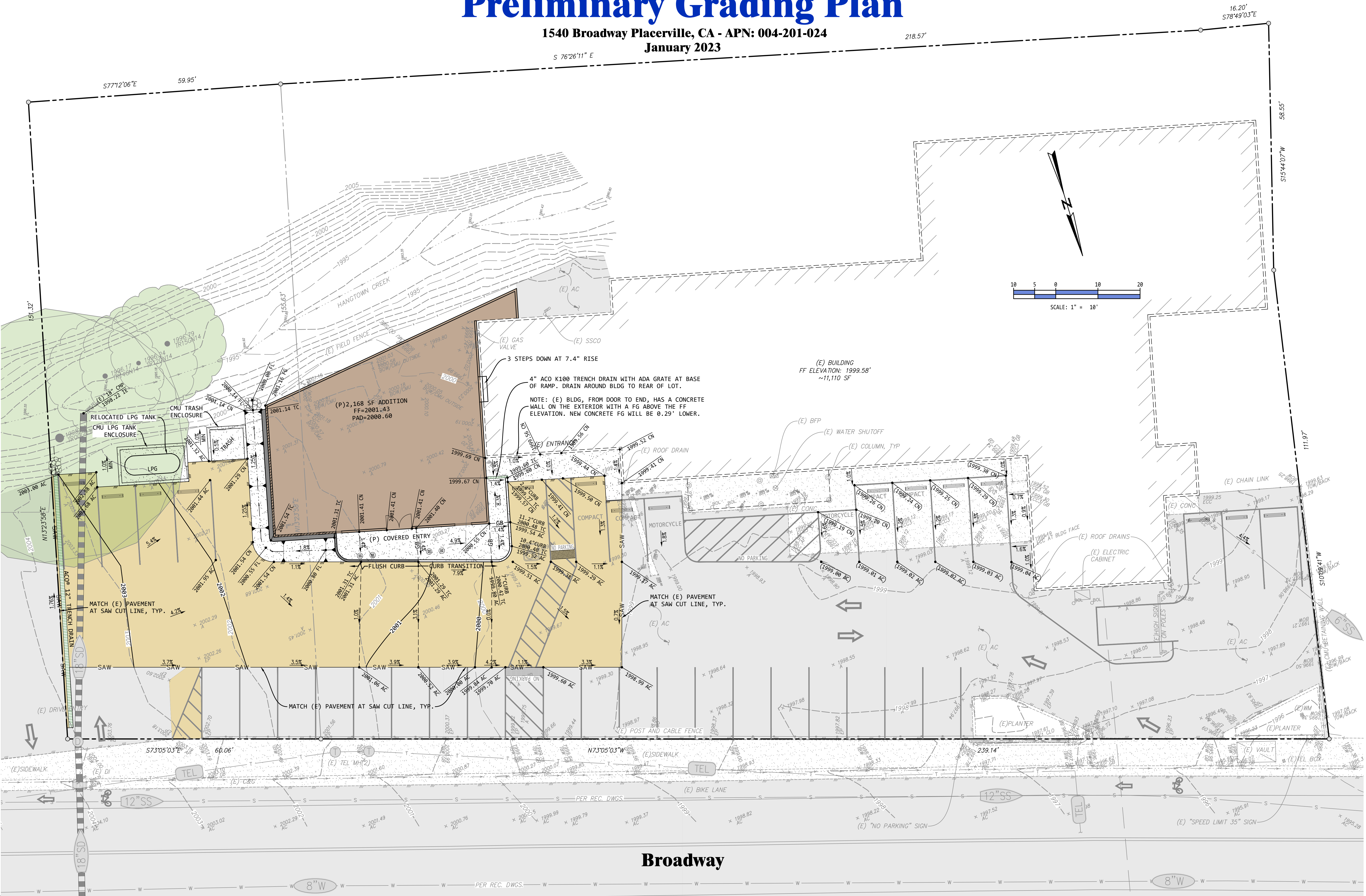


Plot Date: Jan 26, 2023

**Broadway**

# Hangtown Range - Building Addition Preliminary Grading Plan

1540 Broadway Placerville, CA - APN: 004-201-024  
January 2023



**LEBECK ENGINEERING, INC.**  
3430 ROBIN LANE, BLDG. #2  
CAMERON PARK, CA 95682  
Ph. 530-677-4080

Stamp Date: Jan 26, 2023  
REGISTERED PROFESSIONAL ENGINEER  
BARBARA A. LEBECK  
No. 0796  
in the State of CALIFORNIA

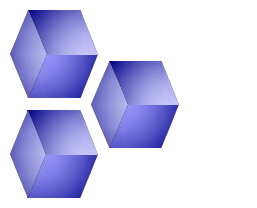
## Preliminary Grading Plan

Hangtown Range - Building Addition  
Tracts 1 & 2, RS 35/81  
1540 Broadway, Placerville, CA - APN: 004-201-024

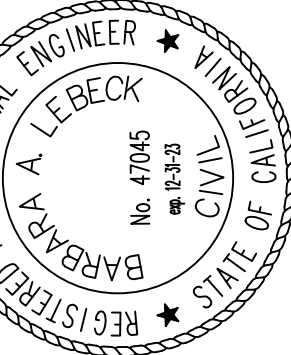
HANGTOWN RANGE  
c/o: Richard "Dick" Rood  
2211 Swansboro Road  
Placerville, CA 95667  
Phone: 530-621-1173  
Email: ddr-ood@hughes.net

Project # 22-140  
Date: January 2023  
Scale: 1" = 10'  
Designed by: B. Lebeck  
Drawn by: R. Personius  
SHEET NO.

**C4**  
Plot Date: Jan 26, 2023



Stamp Date: Jan 26, 2023



# Erosion Control Plan

Hangtown Range - Building Addition  
Tracts 1 & 2, RS 35/81  
1540 Broadway, Placerville, CA - APN: 004-201-024

HANGTOWN RANGE  
c/o: Richard "Dick" Rood  
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Phone: 530-621-1173  
Email: ddr-ood@hughes.net

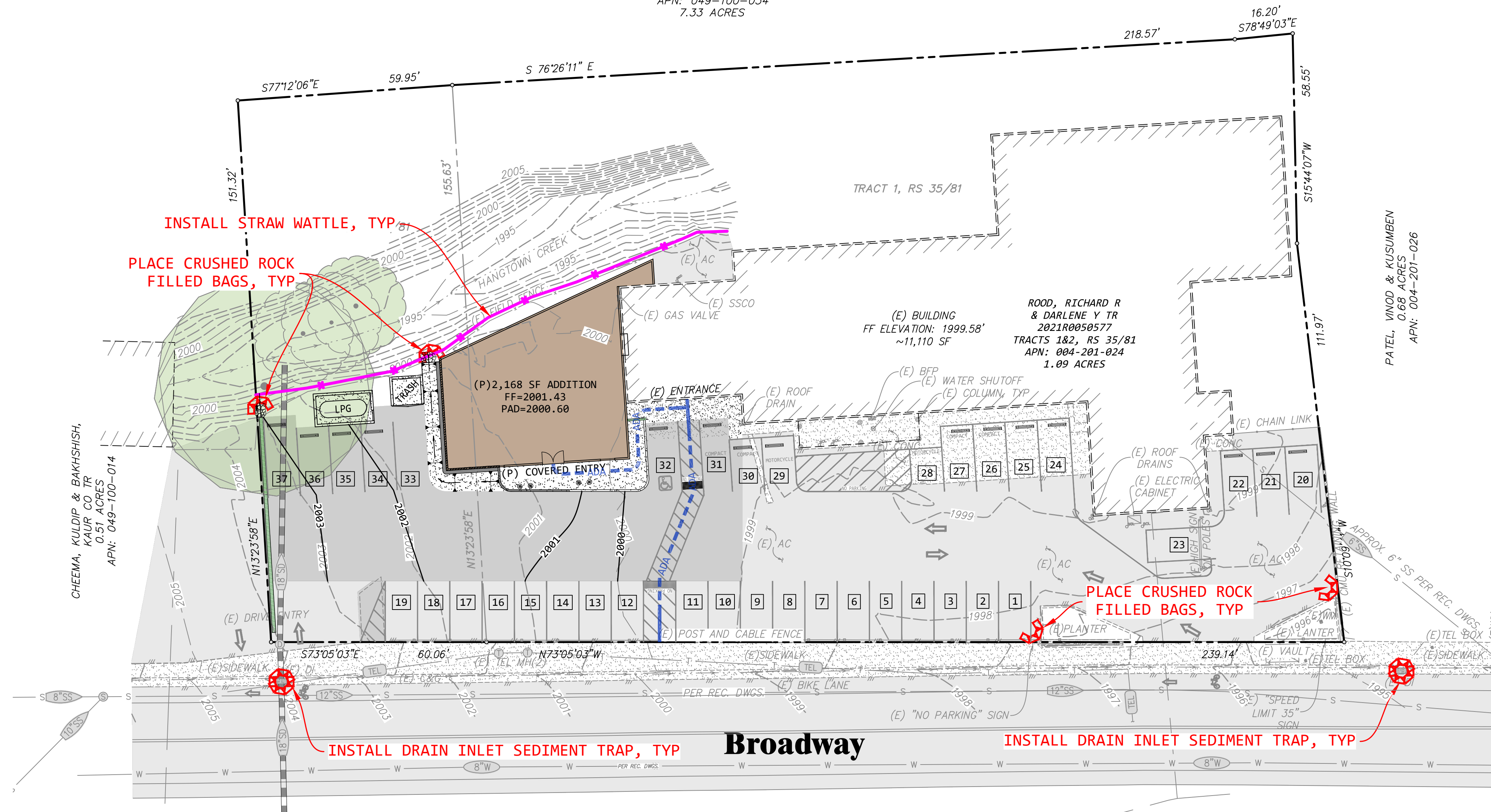
Project # 22-140  
Date: January 2023  
Scale: 1" = 20'  
Designed by: B. Lebeck  
Drawn by: R. Personius

SHEET NO.

# C5

Plot Date: Jan 26, 2023

SHANKO, ROBERT & JILLIENNE  
1999R0054756  
PARCEL 3, PM 20/39  
APN: 049-100-034  
7.33 ACRES



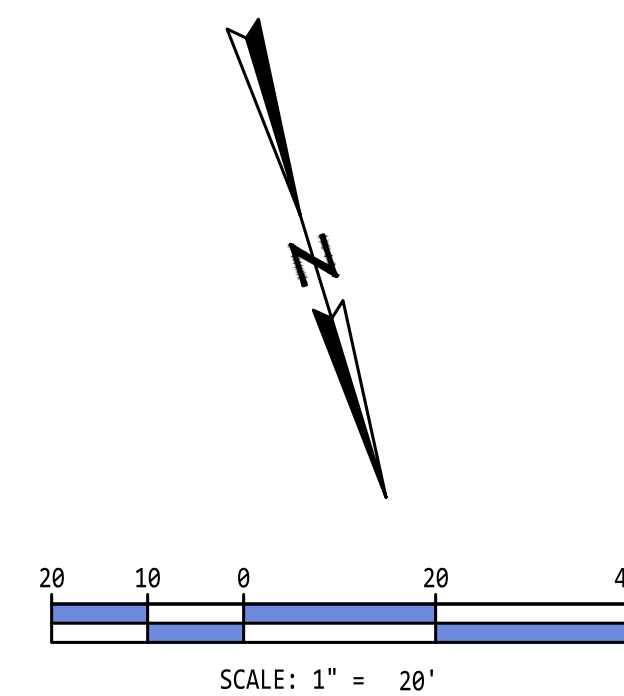
NOTE:  
PLACE STORM DRAIN INLET PROTECTION  
(STONE-FILLED OR GRAVEL-FILLED  
GEOTEXTILE BAGS) AT THE NEAREST  
DOWNSTREAM DRAINAGE INLETS ON THE  
STREET BEFORE DISTURBING SOIL.

**STRAW WATTLE/FIBER ROLL PLACEMENT**  
INSTALL ON ALL GRADED AREAS, PADS AND DRIVEWAYS  
(PRIOR TO PAVING) AND ON TOP AND MID-SLOPES,  
WATTLES IN STREETS AND ON PADS:

- 0-2% - 200' SPACING
- 2-5% - 100' SPACING
- 5-10% - 50' SPACING
- 10-20% - 25' SPACING
- 20-50% - 10' SPACING

**Erosion Control Legend**

DESCRIPTION	DEPICTION
STRAW WATTLE	
CRUSHED ROCK FILLED BAGS	



## Erosion Control Requirements and Specifications:

### I. Minimum Construction Site Storm Water Management Practices

The storm water management practices described below are the minimum, required water quality protection measures applicable to all construction sites, within Western El Dorado County. This listing does not include the various inspection, record keeping, training and reporting requirements. Additionally, there will be instances where project and site conditions require supplementing or deviating from these minimum protection requirements. The contractor is expected to deploy measures sufficient to achieve compliance with the County's Grading Ordinance; and, as applicable (projects which involve one acre or more of disturbed soil or are part of a larger common plan of development that encompasses one acre or more of disturbed soil), with the State Water Resources Control Board's (SWRCB) NPDES General Permit for Storm Water Discharges Associated with Construction Activity.

#### A. Scheduling

Construction shall be scheduled to minimize construction activities in "high-risk areas" and the amount of active disturbed soil areas, during the rainy season (Oct. 15th to May 1st). "High-risk areas" include those areas within 50 feet of USGS watercourses, 100-year flood plains, regulated wetlands, and where slopes exceed 16%. Unless specifically authorized by the County's on-site representative, during the rainy season the contractor shall not schedule construction activities in "high risk areas" or schedule to have more than 5 acres of active disturbed soil area. Where permanent storm water treatment devices are to be constructed, these devices should, whenever feasible, be constructed as an early work item.

#### B. Preservation of Natural Features

Prior to the commencement of soil-disturbing activities, areas of existing vegetation that are to remain and environmentally sensitive areas (i.e. wetlands, protected habitats, etc) shall be fenced for protection. In general, site designs shall preserve existing vegetation to the maximum extent possible; and during construction, existing vegetation shall be preserved (and protected by fencing) for as long as possible to minimize erosion.

#### C. Storm Water Run-On and Concentrated Flows

Existing watercourses shall be protected; and if diverted, handled in a non-eroding fashion. To the extent feasible, all concentrated water flows shall be channeled away from disturbed soil areas / stockpiles. Concentrated water flows shall be conveyed in a non-eroding fashion.

#### D. Stockpile Management

Stockpiles shall be managed as follows:

- Soil stockpiles
  - Rainy season:
    - Covered or protected with soil stabilization measures & perimeter sediment barriers
  - Non-rainy season:
    - Covered or protected with perimeter sediment barriers
- Concrete/asphalt rubble, rock and aggregate base/sub-base
  - Covered or protected with perimeter sediment barriers
- "Cold mix" asphalt
  - Covered

#### E. Sediment Tracking Control

Appropriate measures shall be deployed to minimize any tracking of sediment off-site by vehicles and/or equipment. These measures include stabilized construction entrances/exits & roadways, and tire washing. Where tracking occurs, streets shall be swept using a pickup sweeper with water supply.

#### F. Non-Storm Water Management

Non-storm water discharges shall be minimized to the extent feasible. Sediment-laden non-storm water is required to be filtered (or equivalent treatment) prior to discharging. Measures required to manage non-storm water discharges include: water conservation practices, dust control, material storage practices, vehicle/equipment operation and maintenance requirements, waste management practices, and spill prevention/control measures.

#### G. Disturbed Soil Area Management

Disturbed soil areas (DSA) shall be protected with an "effective combination" of measures including soil stabilization, sediment barriers and basins / traps. There may be situations where "Sediment Basins" or "Treatment" are able to substitute as alternative control measures to the normally required "effective combination" of soil stabilization, sediment barriers and basins / traps. However, when substituting these measures, the contractor must be prepared to demonstrate that the sediment load within storm water discharges from the construction site does not exceed natural or pre-construction levels.

- Soil stabilization measures include:
  - Hydraulic mulch (ref. CASQA BMP # EC-3)
  - Hydroseeding (ref. CASQA BMP # EC-4)
  - Suitably stabilized, non-polluting straw / wood / organic mulch (ref. CASQA BMP #'s EC-6 & EC-8)
  - Geotextiles, mats, plastic covers and erosion control blankets (ref. CASQA BMP # EC-7)
  - Stabilized construction roadways (ref. CASQA BMP # TC-2)
- Sediment barriers include:
  - Silt fences (ref. CASQA BMP # SE-1)
  - Sand/gravel bag barriers (ref. CASQA BMP #'s SE-6 & SE-8)
  - Straw bale barriers (ref. CASQA BMP # SE-9)
  - Fiber rolls (ref. CASQA BMP # SE-5)
- Basin / traps include:
  - Desilting basins (ref. Caltrans BMPs)
  - Sediment traps (ref. Caltrans BMPs)
- On DSAs with slope lengths greater than 10 feet, the following measures shall be deployed:
  - Rainy season (Oct. 15th to May 1st):
    - Non-active areas (no soil disturbing activities for 21 or more days)
      - On slopes equal to or flatter than 1:20 (V/H), soil stabilization
      - On slopes steeper than 1:20 (V/H), soil stabilization and sediment barriers
    - Active areas
      - On slopes steeper than 1:20 (V/H), sediment barriers
      - On slopes steeper than 1:2 (V/H) with slope lengths greater than 50 feet: soil stabilization; sediment barriers; and where feasible, basins / traps
  - Non-rainy season:
    - Non-active areas (no soil disturbing activities for 21 or more days)
      - On slopes steeper than 1:2 (V/H), sediment barriers

General:

- Protection shall be deployed on non-active DSAs within 14 days from the cessation of soil-disturbing activities or one day prior to the predicted (40% or more chance) onset of significant precipitation, whichever occurs first. Protection shall be deployed on active DSAs prior to the predicted (40% or more chance) onset of significant precipitation.
- "Terraces." For cut slopes up to 60 feet in height, terraces at least 8 feet (2.4 meters) in width shall be established at not more than 30-foot (9.1 meters) vertical intervals on all cut slopes to control surface drainage and debris except that where only one terrace is required, it shall be at midheight. For cut slopes greater than 60 feet (18 meters) and up to 120 feet (37 meters) in vertical height, one additional terrace at approximately midheight shall be 12 feet (3.6 meters) in width. Terraces shall slope a minimum of 5 percent gradient toward the hillside. Terrace widths and spacing for cut slopes greater than 120 feet (36 meters) in height shall be designed by the Civil Engineer and approved by the Director. Suitable access shall be provided to permit proper cleaning and maintenance.
- "Sediment Basin." A basin with a capacity equivalent to at least 3600 cubic feet of storage (as measured from the bottom of the basin to the principal outlet) per acre draining into the basin. The length of the basin shall be more than twice the basin's width (length is determined by measuring the distance between the inlet and the outlet). The depth of the basin must not be less than three feet nor greater than five feet.

- "Treatment": A combination of basin and treatment engineered to capture and treat (to remove 0.01 mm sized particles and larger) the 10-year, 6-hour rain event using  $Q=CxIxA$  where  $C=0.5$  and  $I$  ranges from 0.286 (El Dorado Hills) to 0.500 (Sly Park).

#### General reference:

- El Dorado County "Storm Water Management Plan", October 2004. Available online at:

#### Detailed references:

- California Storm water Quality Association (CASQA) "Construction Handbook," January 2003, Errata September 2004. Available online at:
- Caltrans "Statewide Storm Water Quality Practice Guidelines," April 2003. Available online at:
- High Sierra Resource Conservation and Development Council "Vegetation Establishment Guidelines for the Sierra Nevada Foothills and Mountains," 2005. Available online at: <http://www.co.el-dorado.ca.us/emd/solidwaste/StormWater/HSRCD%20Vegetation%20Guidelines%20Final%202005.pdf>

### II. CRITICAL AREA PLANTING SPECIFICATIONS (January 2006)

A. SCOPE - Establishing specifications on severely eroding areas or areas with an erosion potential. Its purpose is to stabilize the soil, minimize or prevent damage from sediment and runoff to downstream areas, protect wildlife habitat, and maintain aesthetic qualities.

B. AREAS TO BE SEEDED, TIMING OF SEEDING - Complete revegetation and stabilization of all disturbed soils, both within and outside county rights-of-way, will be accomplished with specified amounts and types of vegetative species, mulch and fertilizer material. See Major Land Resource Area exhibits MLRA 18 OR 22.

All erosion and sediment control practices performed after October 15, shall follow "Rainy Season" specification contained in the Storm Water Management Practices.

#### C. MATERIAL

- Seed - All seed shall be delivered to the site tagged and labeled in accordance with the California Agricultural Code and shall be acceptable to the County Agricultural Commissioner.

Seed shall be of a quality which has a minimum pure live seed content of 80% (% purity x % germination) and weed seed shall not exceed 0.5% of the aggregate of pure live seed and other materials. Legume seed shall be inoculated with inoculate specific to its needs within two hours prior to seeding. Inoculants shall not be used later than the date indicated on the container or as otherwise specified. All inoculated seed shall be labeled to show weight of seed, date of inoculation, and the weight and source of inoculant materials.

- Fertilizer - A commercial fertilizer shall be Ammonium Phosphate and contain a minimum of 16% nitrogen, 20% phosphorus and 0% potash, uniform in composition, dry and free flowing, pelleted or granular.

All fertilizer shall be delivered in unbroken or unopened containers, labeled in accordance with applicable state regulations and bearing the warranty of the producer for the grade furnished.

- Mulch - Mulch shall be one of the following materials as approved by the government representative.

3A. Straw - Straw shall be new straw derived from rice, wheat, oats, or barley and be free of mold and noxious weed seed. Straw shall be furnished in air dry bales. Evidence shall be furnished that clearance has been obtained from the County Agricultural Commissioner, as required by law, before straw obtained from outside the county in which it is to be used is delivered to the site of the work.

3B. Wood Fiber Mulch - Wood fiber mulch is a wood cellulose fiber that contains no germinating or growth inhibiting factors. It is colored with a non-toxic, water soluble, green dye to provide a proper gauge for metering over ground surfaces. It has the property to be evenly dispersed and suspended when agitated in water.

#### SEEDING REQUIREMENTS

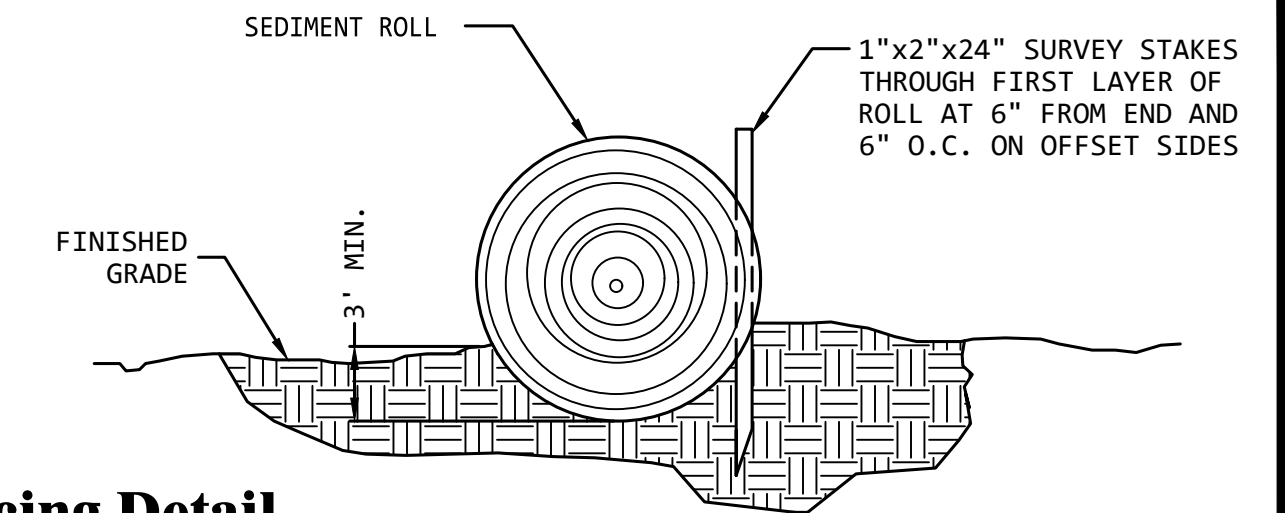
- General - All seeding, fertilizer and mulching operations shall begin when approval is given by the appropriate County Engineer or Conservation District representative.
- Seeded Preparation - The entire area to be seeded shall be reasonably smooth and conform to the desired shape before actual seeded preparation is begun. Any debris which would interfere with seeding operations, growth or maintenance of the vegetative cover will be removed. The area to be seeded shall have a firm seedbed which has previously been roughened by scarifying, disking, harrowing, chiseling, or otherwise worked to a depth of two to four inches (2" - 4"). No implement shall be used that will create an excessive amount of downward movement of soil or clods of sloping areas. Seedbed may be prepared at time of completion of earth-moving work.
- Fertilizing - Fertilizer shall be distributed uniformly over the seedbed at the rate of 300 pounds per acre, and shall be in such physical condition to insure uniform application over the area to be fertilized. Fertilizer may be applied in any way that will result in uniform distribution. The fertilizer shall be incorporated into the soil.
- Seeding - Seed shall be broadcast by hand, mechanical hand seeder, power operated seeder, hydroseeder or other approved equipment. 'Seed shall have a soil cover of not more than one-half inch. Seeding will be carried out using either of the following methods:
  - Method 1 The seed may be drilled, not to exceed one-half (1/2) inch deep and cultipacked or rolled once over with a corrugated roller on all areas where equipment can be operated safely. Seed operations will be across the slope.
  - Method 2 The seed may be applied in a slurry mix of wood cellulose fiber distributed uniformly at the prescribed rate (see Item E.2, Wood Celulose Fiber-Hydro-mulching, below). The application unit used for "Hydro Mulch" shall be equipped with an agitator to maintain the seed and mulch in suspension within the unit's tank prior to and during application.
  - Method 3 Where emergency treatment of exposed soils extends beyond October 15, emergency mulching without seed will be prescribed in accordance with "Soil stabilization measures" described previously.

Special Note: A minimum 70% seed germination with at least 1" growth must be obtained by December 1st, or area must be covered with straw mulch. (Section E-1)

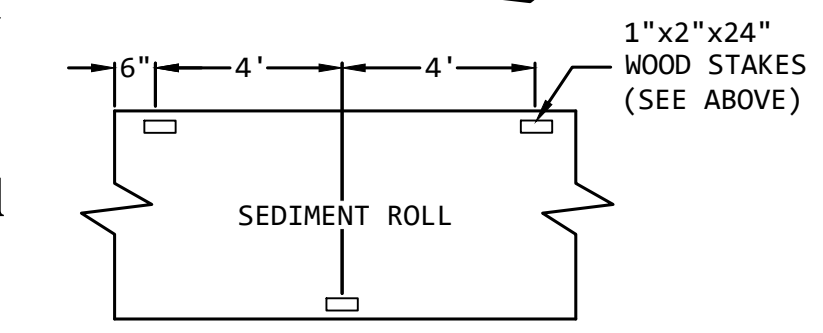
## Erosion & Pollution Control Notes:

- THE CONTRACTOR'S EQUIPMENT AND MATERIALS STORAGE YARD SHALL BE LOCATED AT LEAST FIFTY (50) FEET AWAY FROM ANY SWALES OR INTERMITTENT STREAMS AND THE INTERVENING VEGETATION SHALL BE LEFT INTACT.
- ON-SITE FUEL TANKS SHALL HAVE PROPER CONTAINMENT BERMS IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. ALL WASTE OIL OR OTHER HAZARDOUS MATERIALS RESULTING FROM THE MAINTENANCE OF THE CONSTRUCTION EQUIPMENT ARE THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFF-SITE.
- UPON COMPLETION OF WORK, ALL MATERIALS, DEBRIS, AND EQUIPMENT SHALL BE REMOVED FROM THE STORAGE SITE AND THE SITE REGRADED AND REVEGETATED TO BRING IT BACK TO A NATURAL CONDITION.
- NO DUST PALLIATIVE MATERIALS OTHER THAN WATER SHALL BE USED ON THIS PROPERTY.
- NO ROAD OIL OR LIQUID ASPHALT SHALL BE SPRAYED ON ROADWAYS DURING PERIODS WHERE STORM WATER RUNOFF WOULD BE LIKELY.
- THE CONTRACTOR SHALL CONTROL HIS OPERATIONS TO MAKE SURE THAT CONSTRUCTION TRAFFIC THAT ENTERS AND LEAVES THE SITE SHALL HAVE FIRM STABLE ACCESS SO AS TO MINIMIZE THE TRACKING OF SEDIMENTS ONTO PAVED ROADWAYS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN SEDIMENTS TRACKED ONTO PAVED ROADWAYS BY THE END OF EACH WORKDAY. LARGE CHUNKS OF SOIL SHALL BE SCRAPED OR BROOMED FROM THE ROADWAY AND PROPERLY RETURN TO THE CONSTRUCTION SITE PRIOR TO WASHING THE PAVEMENT CLEAN.
- THE CONTRACTOR SHALL, AT ALL TIMES, KEEP PROPERTY ON WHICH WORK IS PROGRESS AND THE ADJACENT PROPERTY FREE FROM ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY EMPLOYEES OR BY THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WASTE RECEPTACLES ON THE JOB SITE AND INFORMING ALL EMPLOYEES THAT NO LITTER WILL BE ALLOWED ON THE PROJECT SITE. UPON COMPLETION OF THE CONSTRUCTION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY STRUCTURES, RUBBISH, AND WASTE MATERIALS RESULTING FROM HIS OPERATIONS.
- ALL EROSION CONTROL AND DESILTATION FACILITIES FOR A CONSTRUCTION PROJECT SHALL BE IN PLACE AND FUNCTIONAL BY 15 OCTOBER. SAID FACILITIES SHALL BE INSPECTED WEEKLY AND AFTER ANY STORM EVENTS BY CONTRACTOR'S PERSONNEL TO DETERMINE THAT THE FACILITIES ARE FUNCTIONING PROPERLY. ANY REPAIRS NEEDED SHALL BE MADE PROMPTLY AND ANY SUBSTANTIAL DEPOSITS OF SILT OR DEBRIS SHALL BE CLEANED FROM THE FACILITIES AND PROPERLY DISPOSED OF.
- ALL EROSION CONTROL AND DESILTATION FACILITIES FOR A CONSTRUCTION PROJECT SHALL BE IN PLACE AND FUNCTIONAL BY 15 OCTOBER. SAID FACILITIES SHALL BE INSPECTED WEEKLY AND AFTER ANY STORM EVENTS BY CONTRACTOR'S PERSONNEL TO DETERMINE THAT THE FACILITIES ARE FUNCTIONING PROPERLY. ANY REPAIRS NEEDED SHALL BE MADE PROMPTLY AND ANY SUBSTANTIAL DEPOSITS OF SILT OR DEBRIS SHALL BE CLEANED FROM THE FACILITIES AND PROPERLY DISPOSED OF.
- THE CONTRACTOR SHALL CONTROL THE LOCATIONS WHERE CONCRETE TRUCK CLEAN OUT MAY OCCUR. CLEAN OUT SHALL NOT OCCUR WITHIN FIFTY (50) FEET OF A FLOWING STREAM
- IN ADDITION TO COMPREHENSIVE PROJECT EROSION CONTROL FEATURES (SEDIMENTATION PONDS, INLET FILTERS, ETC.) SILT FENCES/HAY BALES/STRAW ETC. SHALL BE PLACED AS A FIRST LINE OF EROSION CONTROL BELOW ALL AREAS DISTURBED (10/15-5/15), INCLUDING STOCKPILED MATERIAL FROM GRADING AND TRENCHING OPERATIONS. ANY GRADING COMPLETED SHALL BE SEEDED/STRAWED IMMEDIATELY (10/15-5/15).
- IT IS EXPRESSLY UNDERSTOOD THAT APPROVAL OF THIS PLAN SHALL NOT RELIEVE THE DEVELOPER, ENGINEER, OR CONTRACTOR OF ANY RESPONSIBILITIES UNDER THE PERMIT, AGREEMENT, OR PLANS FOR THE SUCCESSFUL IMPLEMENTATION OF SEDIMENTATION CONTROL IN CONFORMITY WITH THE REQUIREMENTS OF ALL COUNTY, STATE AND FEDERAL ORDINANCES, LAWS, MANUALS, CONDITIONS, PERMITS OR PLANS.
- DURING GRADING, PAVE SURFACE OR ROCK ENCROACHMENTS TO ANY EXISTING ROADWAYS.

## Straw Wattle Detail



## Placing Detail



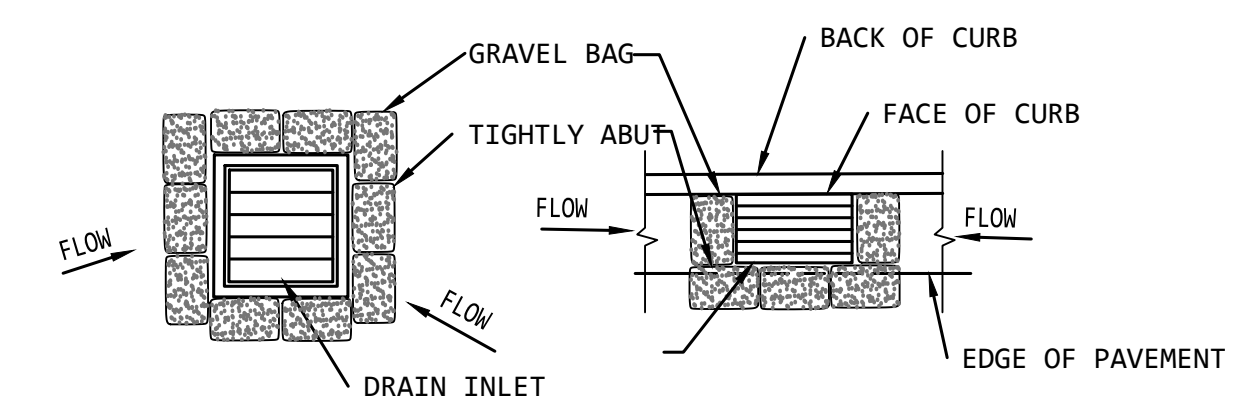
## Staking Detail

### Notes:

- SEDIMENT ROLLS ARE TUBES MADE FROM BIODEGRADABLE EXCELSIOR WITH PHOTO-DEGRADABLE NETTING. THEY ARE 12" IN DIAMETER AND AS LONG AS CAN BE CONVENIENTLY PLACED.
- SEDIMENT ROLLS TRAP AND CAPTURE SEDIMENT, INCREASE FILTRATION RATES, SLOW RUNOFF VELOCITIES AND REDUCE SHEET RILL EROSION. THEY CREATE A FAVORABLE ENVIRONMENT FOR PLANT ESTABLISHMENT.
- SEDIMENT ROLLS SHOULD BE PLACED INTO A TRENCH APPROXIMATELY 3" DEEP AND SECURELY STAKED AT 6" O.C. WITH 1"x2"x24" WOODEN STAKES.

NOT TO SCALE

## Drain Inlet Sediment Trap Detail



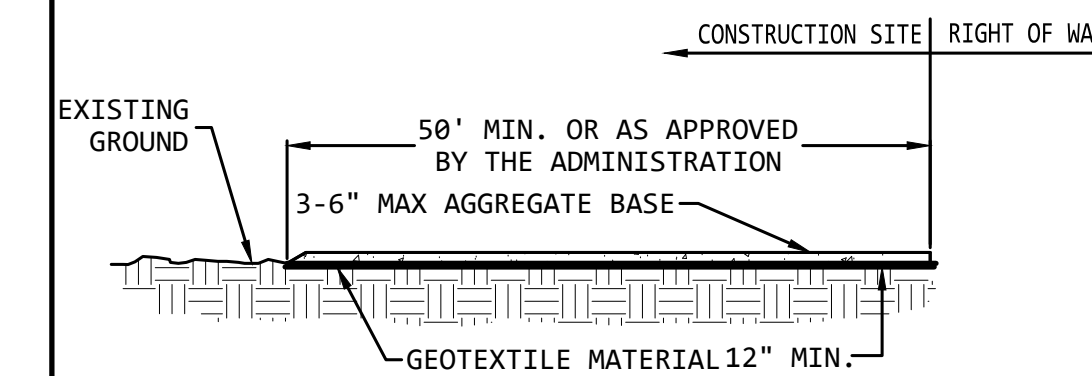
NOT TO SCALE

## MLRA 18 (Elevations below Placerville)

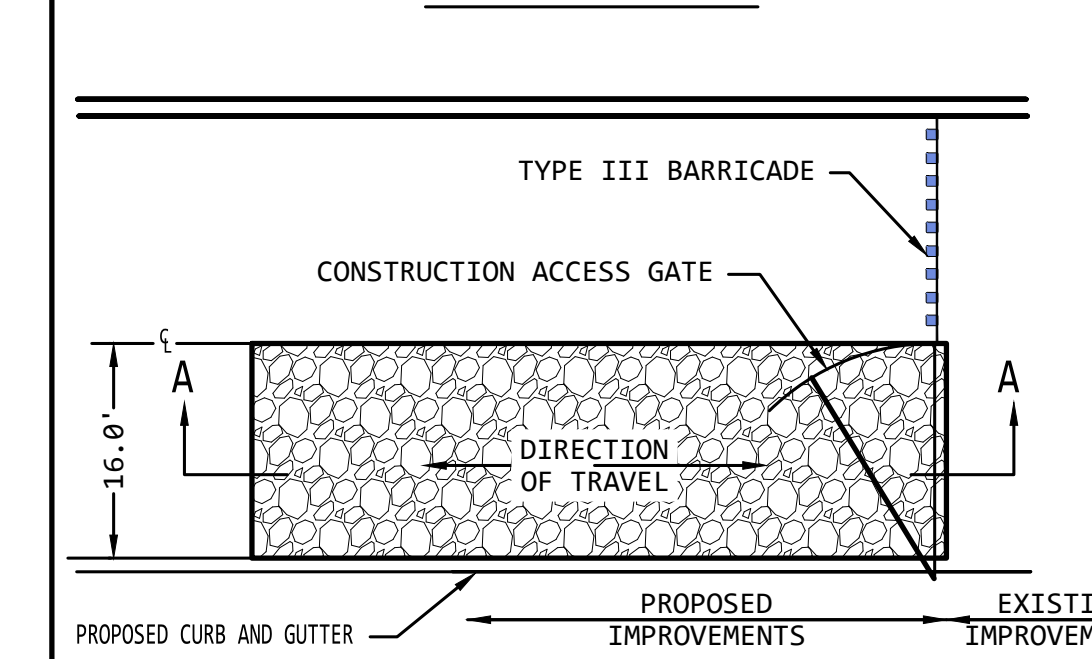
PERIOD	METHOD	TYPE OF SEED	AMOUNT PER ACRE	AMOUNT PER 1000 SQUARE FEET	MULCH TYPE
SEPT 15 - OCT 15	Hydroseed	Blando Brome and either Wimerpa '62 or Annual Ryegrass	12 lbs.	0.3 lbs.	straw or wood fiber
			9 lbs.	0.2 lbs.	
SEPT 15 - OCT 15	Broadcast	Blando Brome and Rose Clover	12 lbs.	0.3 lbs.	straw or wood fiber
			9 lbs.	0.2 lbs.	
OCT 16 - SEPT 14	Hydroseed	Blando Brome and either Wimerpa '62 or Annual Ryegrass	24 lbs.	0.6 lbs.	straw only
			18 lbs.	0.4 lbs.	
OCT 16 - SEPT 14	Broadcast	Blando Brome and Rose Clover	24 lbs.	0.6 lbs.	straw only
			18 lbs.	0.4 lbs.	

A MULCH COVERING SHALL BE APPLIED OVER THE SURFACE OF THE SEEDED AREA. MULCHING SHALL FOLLOW IMMEDIATELY AFTER SEEDING UNLESS OTHERWISE DIRECTED. MULCH WILL BE OF THE MATERIAL INDICATED.

## Stabilized Construction Access Detail



## Section A-A



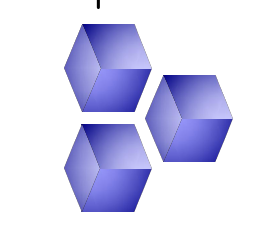
## Plan View

### Notes

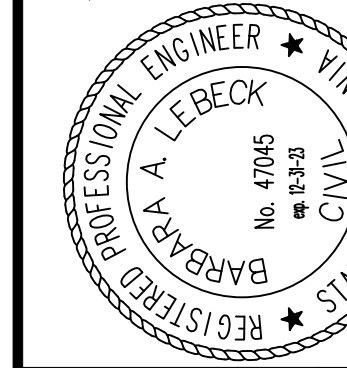
- STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 40 MM (3-6") MAX. AGGREGATE BASE MATERIAL CONFORMING TO COUNTY STANDARDS. MATERIAL SHALL BE PLACED TO A MIN. THICKNESS OF 150 MM (12"). THE METHOD OF PLACING, SPREADING AND COMPACTING AGGREGATE BASE MATERIAL SHALL CONFORM TO SECTION 26 OF THE STATE SPECIFICATIONS.
- LENGTH OF ENTRANCE SHALL BE A MIN. OF 15 METERS (50'). WIDTH SHALL BE A MIN. OF 4.5 METERS (15') OR GREATER IF NECESSARY TO COVER ALL VEHICULAR INGRESS AND EGRESS. PROVIDE AMPLE TURNING RADIUS.
- THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCASIONAL TOP DRESSING WITH AGGREGATE BASE MATERIAL.
- ACCESSES SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, MONTHLY DURING NORMAL USAGE, AND AFTER EACH RAINFALL, WITH MAINTENANCE PROVIDED AS NECESSARY. PERIODIC TOP DRESSING SHALL BE DONE AS NEEDED.

NOT TO SCALE

LEBECK  
ENGINEERING, INC.  
3430 ROBIN LANE, BLDG. #2  
CAMERON PARK, CA 95682  
Ph. 530-677-4080



Stamp Date: Jan 26, 2023



**Erosion Control Not & Details**  
Hangtown Range - Building Addition  
Tracts 1 & 2, RS 35/81  
1540 Broadway, Placerville, CA - APN: 004-201-024

HANGTOWN RANGE  
c/o: Richard "Dick" Rood  
2211 Swansboro Road  
Placerville, CA 95667  
Phone: 530-621-1173  
Email: ddr-ood@hughes.net

Project # 22-140  
Date: January 2023  
Scale: NTS  
Designed by: B. Lebeck  
Drawn by: R. Personius

SHEET NO.

**C6**

Plot Date: Jan 26, 2023